

PLANNING COMMITTEE

Wednesday, 6 October 2021

5.30 pm

**Committee Rooms 1-2, City
Hall**

Membership: Councillors Naomi Tweddle (Chair), Bob Bushell (Vice-Chair), Biff Bean, Chris Burke, Liz Bushell, Gary Hewson, Bill Mara, Rebecca Longbottom, Mark Storer, Edmund Strengiel and Calum Watt

Officers attending: Simon Cousins, Democratic Services, Kieron Manning, Dave Walker and Louise Simpson

A G E N D A

**PLEASE NOTE THIS MEETING WILL BE HELD AT CITY HALL,
COMMITTEE ROOMS 1 & 2**

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2. Declarations of Interest	
Please note that, in accordance with the Members' Code of Conduct, when declaring interests members must disclose the existence and nature of the interest, and whether it is a disclosable pecuniary interest (DPI) or personal and/or pecuniary.	
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Present: Councillor Naomi Tweddle (*in the Chair*),
Councillor Biff Bean, Councillor Bill Bilton, Councillor
Alan Briggs, Councillor Sue Burke, Councillor
Gary Hewson, Councillor Rebecca Longbottom,
Councillor Bill Mara, Councillor Mark Storer, Councillor
Pat Vaughan and Councillor Loraine Woolley

Apologies for Absence: Councillor Bob Bushell, Councillor Chris Burke, Councillor
Liz Bushell, Councillor Edmund Strengiel and Councillor
Calum Watt

20. Confirmation of Minutes - 11 August 2021

RESOLVED that the minutes of the meeting held on 11 August 2021 be confirmed.

21. Declarations of Interest

Councillor Biff Bean declared a Personal and Pecuniary Interest with regard to the agenda item titled 'Tritton Road, Lincoln'.

Reason: He lived very close to the proposed siting of the monopole, the subject of the matter to be decided.

He left the room during the consideration of this item and took no part in the discussion and vote on the matter to be determined.

Councillor Pat Vaughan declared a Personal and Pecuniary Interest with regard to the agenda item titled 'Tritton Road, Lincoln'.

Reason: He lived very close to the proposed siting of the monopole, the subject of the matter to be decided.

He left the room during the consideration of this item and took no part in the discussion and vote on the matter to be determined.

22. Update Sheet

An update sheet was tabled at the meeting, which included an additional objection received in relation to Minute Number 6(a) – *192 West Parade, Lincoln*.

23. Work to Trees in City Council Ownership

Dave Walker, Arboricultural Officer:

- a. advised the Committee of the reasons for the proposed works to trees in the City Council's ownership and sought consent to progress the works identified, as detailed at Appendix A of his report
- b. highlighted that the list did not represent all the work undertaken to Council trees, it represented all the instances where a tree was either identified for

removal, or where a tree enjoyed some element of protection under planning legislation, and thus formal consent was required

- c. explained that ward councillors had been notified of the proposed works.

RESOLVED that the tree works set out in the schedules appended to the report be approved.

24. Confirmation of Tree Preservation Order No163

The Assistant Director for Planning:

- a. advised members of the reasons why a temporary tree preservation order made by the Assistant Director for Planning under delegated powers should be confirmed at the following site:
 - Tree Preservation Order 163: 1no Horse Chestnut (*Aesculus hippocastanum*) tree on the southern boundary of 51 Meadowlake Crescent, Lincoln, LN6 0HZ, adjacent to 53 Meadowlake Crescent, Lincoln, LN60HZ
- b. provided details of the individual tree to be covered by the order and the contribution it made to the area
- c. reported that the initial 6 months of protection would come to an end for the Tree Preservation Order on 10 November 2021
- d. confirmed that the reason for making a Tree Preservation Order on this site was at the request of the Arboricultural Officer, who was made aware of an intention to remove this tree and carried out a site visit to assess the tree for a Tree Preservation Order on this basis
- e. added that the Arboricultural identified the tree to be suitable for protection under a Tree Preservation Order; it had a high amenity value, and its removal would have a significant effect on the aesthetic appearance of the area
- f. advised that following an extended 51-day period of consultation, there had been an objection received to the order from the occupants of 53 Meadowlake Crescent, as detailed within the officer's report citing concerns over:
 - The size of the tree and particularly the proximity to their conservatory roof
 - Leaves that fell from the tree regularly blocked the guttering which resulted in damp on the internal conservatory walls, they also fell to the adjacent path, making it slippery and a potential hazard
 - Conkers that regularly fell onto both the conservatory roof and the adjacent path, causing concern of potential damage to both property and person
- g. added that an objection had also been received from the occupants of 51 Meadowlake Crescent, where the tree was located, having raised concerns that the tree was extremely large, close to the bungalow, with some low hanging branches and potential for damage should they fall

- h. reported that following the review of the objections by the Arboricultural Officer it was felt that the concerns raised could be dealt with by remedial works to the tree; that most of the points raised were part of the natural lifecycle of a tree and that the large size of the tree and the amenity value that it added to the local area were the primary incentives to placing this Tree Preservation Order, which would ensure both the trees retention and correct management in the future
- i. advised that confirmation of the tree preservation order here would ensure that the tree could not be removed or worked on without the express permission of the council which would be considered detrimental to visual amenity and as such the protection of the tree would contribute to one of the Councils priorities of enhancing our remarkable place.

Members commented/questioned the Arboricultural Officer as follows:

- Question: Was it possible to take action to address the issues identified within the consultation letters submitted?
- Response: The primary objective was for the tree to be protected and works would be undertaken to mitigate the issues highlighted.
- Comment: This was a magnificent tree with an enormous girth. The Councillor in question had visited the site and noted that the tree was in good shape. Previous work had been undergone to the tree and although the specimen needed to be kept in check it should be preserved.
- Response: Yes, work had been completed on the tree before. The canopy was asymmetrical, and work would be scheduled to keep it in shape.

RESOLVED that Tree Preservation Order No 163 be confirmed without modification and that delegated authority be granted to the Assistant Director of Planning to carry out the requisite procedures for confirmation.

25. Change to Order of Business

RESOLVED that the order of business be amended to allow the report at 6 (c) of the agenda entitled 'Tritton Rad, Lincoln' to be considered as the last agenda item.

26. Applications for Development **27. 192 West Parade, Lincoln**

The Assistant Director for Planning:

- a. advised that permission was sought for demolition of an existing garage to accommodate a one-bedroom property with one off road parking space, comprising a double bedroom, bathroom, and open plan kitchen/living area
- b. described 192 West Parade, a large House in Multiple Occupation (HIMO) situated on the corner of West Parade with Hampton Street, the proposed dwelling to be located to the rear of 192, however, it would front onto Hampton Street
- c. advised that the land in between the rear of these properties and the site formed the service yard to 116 High Street, including a single storey metal

clad store and some air conditioning units, to be accessed from Gaunt Street between no's 7 and 11 across the existing service yard

- d. confirmed that the site was situated within the West Parade and Brayford Conservation Area
- e. referred to a previous planning application for the site for demolition of the existing garage to accommodate erection of two dwellings and creation of a new vehicular access, withdrawn on 29 June 2021, due to officer concerns regarding the proposed design of the scheme; pre-application advice had since been sought on a scaled back scheme which could be supported by officers
- f. provided details of the policies pertaining to the application, as follows:
 - National Planning Policy Framework
 - Central Lincolnshire Local Plan LP26
- g. advised Planning Committee of the main issues to be considered as part of the application to assess the proposal with regards to:
 - Principle of Use
 - Visual Amenity
 - Impact on Neighbours
 - Technical Matters
- h. outlined the responses made to the consultation exercise
- i. concluded that:
 - The application proposed a one-bedroom property in a plot between 192 West Parade and 1 Hampton Street.
 - The proposal would not increase the size of the existing HMO at 192 West Parade and would be a modest residential unit for occupation by anyone other than students.
 - Its design was appropriate given the surrounding context and it would result in no adverse impacts on residential neighbours.
 - It was therefore considered to be in accordance with local planning policies LP25 and 26.

Helen Hancocks, local resident, addressed Planning Committee in objection to the application, making the following points:

- She resided at 1 Hampton Street.
- The proposed development would cause parking issues.
- There were 13 houses on Hampton Street with provision of a maximum of 5 on-street car parking spaces, when people parked sensibly.
- The introduction of a dropped curb to facilitate the development would result in 1 to 2 of these car parking spaces being lost.
- On-site parking at the current property would be lost
- The application site was situated at a blind spot for drivers/pedestrians and was especially dangerous for local school children during the school run.
- There were already four houses numbered 'No1' on Hampton Street, what number would this residence be given?

- The proposed development exerted pressures on existing amenities.
- 192 West Parade was occupied by students as a HMO, the development would result in loss of valuable garden space for them to relax, get fresh air, or even hang out washing. Outside space was vital to maintaining mental health in these difficult times.
- Should the HMO wish to revert back into a family home this would not happen due to having no garden space.
- The telephone box in front of our property would have to be moved; no consultations had taken place on this matter.
- The off-street car parking ground was on a bumpy elevation was likely to be water permeable, causing potential of dampness in her property.
- There were a lot less family homes in the area, it would be nice to retain the current community feel and spirit.
- Trees would be affected by the development in this Conservation Area.
- The visual amenity of the area did not match the aesthetics of the proposed development.

Councillor Neil Murray addressed Planning Committee as Ward Advocate representing local residents. He covered the following main points:

- He was sorry to see this application before Planning Committee this evening.
- It could be the first of many such applications should it be granted permission.
- The Authority had made steady progress through Article 4 to re address the imbalance of HMOs in the West End of the city.
- The proposed development would threaten the momentum generated if it were to go ahead, setting a precedent for the future of the area.
- He could see more and more garden areas disappearing.
- Development of garden space increased rental income for landlords but was not helpful to residents.
- Local people wanted each property to retain a decent garden in this nice residential area without extensions/additional builds on green space.
- No one would buy a family house at 192 West Parade without a garden, and it would remain an HMO for good.
- This planning application represented over development right on the edge of the existing HMO area.
- It would have a negative impact on the amenity of neighbours.
- It was also on a traffic junction which caused additional issues.
- There was a negative effect on parking in the area hence the reason why residents parking was provided.
- There would be additional awkward vehicular manoeuvres on an already busy road, particularly during peak school run hours.
- The proposed development set the signal that it was okay to site flats in peoples back gardens.
- As a Planning Authority we should not be sending this signal especially in an HMO area.

Gareth Johnson addressed Planning Committee on behalf of the agent for the application, covering the following main points:

- He represented the architect for the planning application.
- He thanked members of Planning Committee for allowing him the opportunity to speak on behalf of his client.

- The original application had been withdrawn as two residential units had not been considered as appropriate and would not be supported.
- The planning application was now resubmitted as a modest single storey development.
- This would be a self-contained dwelling.
- There was no proposed access or sharing of amenities with 192 West Parade.
- The Highways Authority had raised no issues in relation to safety, capacity, or parking.
- An S184 agreement would be entered into for the construction of, site access and the existing dropped kerb would be reinstated.
- His client was happy to sign a 106 agreement to prevent occupation by students should members of Planning Committee consider this to be appropriate.

The Committee discussed the content of the report in further detail.

The following comments were put forward in support of the proposals:

- This additional dwelling would provide variety in the area for a couple or single person.
- The design was intended to look like the outbuilding it was replacing.
- The amount of garden space lost was in the member's view not substantial and replaced in part the original build.
- The development proposed was modest in size.
- The Highways Authority had raised no concerns.
- The development was in a Conservation Area; however, Planning Officers had worked together with the agent for the application to produce an option for this site moving forwards.
- There would be no student occupation.
- The trees referred to would be protected.

The following matters of concern in relation to the planning application were raised by members:

- Had the proposed development been on the footprint of the existing garage it would be acceptable, however, it set a precedent for similar development in an already densely populated area.
- Concerns were raised relating to properties being squeezed into green space.
- Although the city was in desperate need of additional housing, we also required green life around us.
- Residents' concerns regarding the design of the build would be assisted by the introduction of a condition requiring site of further detail on materials to be used and how the build fitted into the local area.
- It was hoped the build would be set back a little.
- Concerns that the proposed development did not fit into the local area.
- It was hoped that off-street parking provision would allow surface water to pass through it.

The Assistant Director of Planning offered the following point of clarification to members:

- The use of materials would be a condition of grant of planning permission to include minimum details of red brick with a slate roof. Samples of materials to be used could also be added as an additional condition.
- The proposed development was set back slightly.
- In terms of provision of off-street parking, materials to be used and surface materials could be conditioned accordingly to allow adequate drainage.

A motion was proposed, seconded and:

RESOLVED that a condition on the use/samples of materials be included as an additional condition imposed subject to grant of planning permission.

RESOLVED that the application for planning permission be refused.

Reasons:

1. The proposed dwelling would have a harmful impact on the character and appearance of the conservation area by virtue of its position and therefore relationship with the street.
2. This relationship combined with the removal of garden space for 192 West Parade would strike a discordant note in paragraph 72 of the street scene contrary to LP 26 and paragraphs 197 of the NPPF and Listed Building Act.

28. Todson House, Beaumont Fee, Lincoln

The Assistant Director for Planning:

- a. advised that permission was sought for partial demolition of an existing building including retention of its front façade and an extension to form 41 self-contained residential apartments with shared kitchen and lounge facilities, adding 5 dormers to the roof of the building
- b. described the location of the site on the eastern side of Beaumont Fee, occupied by Todson House with associated outbuildings to the rear, the Pathway Centre to the south; a three-storey building providing accommodation and support for homeless and vulnerable adults, and recently completed Iconic Student Accommodation to the north consisting of a 3-5 storey development and refurbishment of a former school building
- c. reported that the current application was submitted by Park Lane Group, the same applicant as the previous development to the north, proposing student accommodation also managed by Iconic
- d. confirmed that the site was situated within the Cathedral and City Centre No.1 Conservation Area
- e. added that the existing building was not listed, although Friends Meeting House, a Grade II listed building was situated on the opposite side of Beaumont Fee
- f. advised that pre-application discussions had taken place with the applicant/architect involving other design options considered for the site including full demolition, although a development which incorporated

retention of the front façade as the main entrance to the building was considered to be the most appropriate

- g. provided details of the history relevant to the site of the proposed development as detailed within the officer's report
- h. provided details of the policies pertaining to the application, as follows:
 - Policy LP2 The Spatial Strategy and Settlement Hierarchy
 - Policy LP6 Retail and Town Centres in Central Lincolnshire
 - Policy LP7 A Sustainable Visitor Economy
 - Policy LP13 Accessibility and Transport
 - Policy LP25 The Historic Environment
 - Policy LP26 Design and Amenity
 - Policy LP29 Protecting Lincoln's Setting and Character
 - Policy LP31 Lincoln's Economy
 - Policy LP33 Lincoln's City Centre Primary Shopping Area and Central Mixed-Use Area
 - National Planning Policy Framework
- i. advised Planning Committee of the main issues to be considered as part of the application to assess the proposal with regards to:
 - National and Local Planning Policy- The Principle of the Proposed Mixed-Use Development
 - Assessment of Harm to the Character and Appearance of the Conservation Area
 - Residential Amenity
 - Archaeology
 - Highways and Drainage
 - Contamination
- j. outlined the responses made to the consultation exercise
- k. concluded that:
 - The development would relate well to the site and surroundings, particularly in relation to siting, height, scale, massing, and design.
 - The proposals would bring a vacant site back into use with the retention of the front façade of the building, which would ensure the character and appearance of the Conservation Area was preserved.
 - Technical matters relating to noise, highways, contamination, archaeology, and drainage were to the satisfaction of the relevant consultees and could be dealt with as necessary by condition.
 - The proposals would therefore be in accordance with the requirements of CLLP Policies and the NPPF.

Planning Committee discussed the content of the report in further detail.

The following comments and questions emerged from members:

- This planning application developed well with the one next door and would bring character to the area.

- The retention of the existing frontage to the building although not protected, would be an added attraction to the area.
- The proposed development was in close proximity to the University and College.
- The proposal by the developer to separate the surface and foul water drainage which currently ran into a combined system was to be commended.
- Clarification of the meaning of a 'Blue Roof' referred to within the officer's report was requested.
- Would the materials from the demolished building be re used?
- What type of materials would be used in the construction of the dormers?

The Assistant Director of Planning offered the following point of clarification to members:

- The term 'Blue Roof' referred to attenuation of rainwater and a potential reduced run-off rate into the drainage system.
- Materials from the existing build would be re-used wherever possible with the front elevation remaining in situ.
- The dormers would be manufactured of best quality workmanship with use of appropriate materials to be negotiated.

RESOLVED that the application for planning permission be granted subject to the following conditions:

Conditions

- Time limit of the permission
- Development in accordance with approved plans
- Materials to be submitted including shade of zinc cladding
- Noise Assessment to be submitted
- Contaminated land
- Archaeological WSI and foundation design
- Surface water drainage (as required once LLFA has submitted final comments)
- Construction of the development (delivery times and working hours)
- Highway construction management plan
- Existing dropped kerb to be reinstated

29. Land at Wolsey Way (between Larkspur Road and Windermere Road), Lincoln

The Planning Team Leader:

- a. advised that permission was sought to vary the original wording of Condition 8 of 2016/0842/OUT which stated:

No development shall be commenced until full engineering, drainage, street lighting and constructional details of the streets proposed for adoption have been submitted to and approved in writing by the Local Planning Authority. The development shall, thereafter, be constructed in accordance with the approved details, unless otherwise agreed in writing with the Local Planning Authority.

Reason: In the interest of highway safety; to ensure a satisfactory appearance to the highways infrastructure serving the development; and to safeguard the visual amenities of the locality and users of the highway.

- b. reported that it was proposed to replace this wording with:

No development shall be commenced until full engineering, drainage, street lighting and constructional details of the streets proposed for adoption have been submitted to and approved in writing by the Local Planning Authority. The surface water drainage designs are to be in accordance with the revised Flood Risk Assessment dated 07 May 2021 by Eastwood and Partners. The development shall, thereafter, be constructed in accordance with the approved details, unless otherwise agreed in writing with the Local Planning Authority.

Reason: In the interest of highway safety; to ensure a satisfactory appearance to the highways infrastructure serving the development; and to safeguard the visual amenities of the locality and users of the highway.

- c. advised that the change was sought to reflect changes made to the drainage strategy following further consultation with Anglian Water Authority
- d. described the location of the application site to the West of Wolsey Way, adjoining the King George V Playing Field to the west, residential development at Westholm Close, Hurtswood Close and Wolsey Way to the north and Larkspur Road to the south
- e. stated that the site was granted outline planning permission in 2019 for 14 bungalows with only the access fixed for the development, all other details including layout, landscaping and size of the bungalows being indicative at this stage; along with the appearance of the dwellings these matters would be agreed through subsequent application(s) for Reserved Matters
- f. provided details of the policy pertaining to the application, as follows:
- National Planning Policy Framework
- g. advised Planning Committee of the main issue to be considered as part of the application to assess whether the proposed wording of Condition 8 was acceptable
- h. outlined the responses made to the consultation exercise
- i. concluded that the proposed Drainage Strategy was acceptable, and that the rewording of Condition 8 was acceptable to reflect the detail contained within.

RESOLVED that the application to vary the wording of Condition 8 of 2016/0842/OUT be granted subject to the signing of the S106 Deed of Variation Agreement.

30. 43 Queen Street, Lincoln

The Assistant Director for Planning:

- a. advised that permission was sought for a two-storey side and rear extension to 43 Queen Street to provide a garage and living area to the ground floor with two bedrooms and a bathroom created to the first floor
- b. described the location of the property to the north of Queen Street, off High Street, Lincoln, attached to a two-storey property to the west, encompassing an open space with a three-storey property beyond to the east
- c. referred to the previous planning history to the application site as detailed within the officer's report
- d. provided details of the policies pertaining to the application as follows:
 - Policy LP26 Design and Amenity
 - Central Lincolnshire Local Plan Policy
- e. advised Planning Committee of the main issues to be considered as part of the application to assess the proposal with regards to:
 - Principle of the Development
 - Visual Amenity and Design
 - Impact on Neighbours
 - Technical Matters
- f. outlined the responses made to the consultation exercise
- g. gave clarification to the issues regarding land ownership/rights of access in relation to the rear of 45 Queen Street which were not matters within the remit of Planning Committee; these were private issues to be resolved between the parties involved through their own solicitors if necessary
- h. referred to the Update Sheet tabled at the meeting which contained a further representation in relation to the proposed development, received too late for the deadline to register to speak
- i. concluded that the proposed extension would have no adverse impact on neighbouring residents and would be appropriately designed taking into account the surrounding area and it was therefore considered that the proposal accorded with policy LP26 of the Local Plan.

Planning Committee discussed the content of the report in further detail.

Some members of Planning Committee considered that the application for development should be deferred until matters relating to boundary issues had been resolved. Other members took on board officers' advice that the proposed development was acceptable, and that ownership of land was not a matter to be determined here.

The following comments and questions emerged from members:

- The officer's recommendation to locate the existing extension further back into the body of the garden was acceptable as it would have less impact on residential amenity.

- The addition of a window rather than a garage door was of a much better design.

The Assistant Director of Planning advised that the matter of land ownership was not a material planning consideration and would not be the subject of any potential breach of planning control. This was a civil matter between both the applicant and the owner of the adjacent land.

RESOLVED that the application for planning permission be granted subject to the following condition:

- Development to be carried out in accordance with the plans

31. **Tritton Road, Lincoln**

(Councillors Bean and Vaughan left the room for this final item having declared a personal and pecuniary interest in the matter to be considered. They took no part in the discussion and vote on the matter to be determined.)

The Planning Team Leader:

- a. advised that determination was sought as to whether prior approval was required for the installation of a 20m Phase 8 monopole, C/W wrapround cabinet at the base and associated ancillary works on Tritton Road, Lincoln
- b. described the location of the proposed site on the west side of Tritton Road, to the south of the junction with Doddington Road,
- c. reported that the site sat within the grass verge, between the footpath/cycleway and the road, positioned to the south of an existing traffic light column on land forming part of the adopted highway, the boundary with 127 Doddington Road, a two-storey property, and a bungalow at 35 Wetherby Crescent was located to the west with the wider area characterised by further bungalows and two-storey properties
- d. advised that the application was submitted under Part 16 of Schedule 2 of the Town and Country Planning (General Permitted Development) (England) Order 2015 (GPDO) as amended by the Town and Country Planning (General Permitted Development) (England) (Amendment) (no.2) Order 2016
- e. reported that paragraph A.1 (1) (c) (ii) of the GDPO set out permitted development rights to install masts of up to 20m above ground level on land on a highway; as the proposed monopole would be 20m in height and the ground-based apparatus would not exceed 15m in height, prior approval was only required for the monopole in terms of its siting and appearance
- f. stated that a declaration had been submitted with the application which confirmed that the equipment was in line with International Commission on Non-Ionizing Radiation Protection Public Exposure Guidelines (ICNIRP)
- g. provided details of the policies pertaining to the application, as follows:

- Policy LP26 Design and Amenity
 - National Planning Policy Framework
- h. advised Planning Committee in determining this prior approval application, that the Local Planning Authority could only consider the siting and appearance of the proposed telecommunications equipment
- i. outlined the responses made to the consultation exercise
- j. concluded that:
- The siting and appearance of the proposed monopole would have a harmful visual impact on the character and appearance of the area by reason of its height, size, design, and position, which was exacerbated by the site's highly visible location.
 - It would appear as an obtrusive, prominent, dominant, and imposing addition in the street scene, contrary to Central Lincolnshire Local Plan Policy LP26 and paragraph 130 of the National Planning Policy Framework.

Planning Committee discussed the content of the report in further detail.

The following comments emerged from Members:

- It was noted that the purpose of the proposed monopole was to increase a telecommunication network strength from 4G to 5G.
- If this site was not considered a suitable location, then where would be, as there were already numerous other masts across the city?
- Concerns were raised in the unfortunate event that a vehicle was to mount the kerb during an accident; this could cause substantial damage to the pole and/or local properties.

The Planning Team Leader responded as follows:

- Everyone wanted 5G Wi-Fi, however, the proposed monopole was so close to the adjacent house it would be unduly dominant.
- Monopoles in other parts of the city were 10-15 metres away from local properties, encompassing a slenderer pole and enclosed head frame.
- This monopole was twice the height of a normal standard street light.
- There were areas in the city considered to be more appropriate for siting such a monopole being further away from other properties.

RESOLVED that Prior Approval be refused.

Reasons:

- The siting and appearance of the proposed monopole would have a harmful visual impact on the character and appearance of the area by reason of its height, size, design, and position, which was exacerbated by the site's highly visible location.
- It would appear as an obtrusive, prominent, dominant, and imposing addition in the street scene, contrary to Central Lincolnshire Local Plan Policy LP26 and paragraph 130 of the National Planning Policy Framework.

SUBJECT:	WORK TO TREES IN CITY COUNCIL OWNERSHIP
DIRECTORATE:	COMMUNITIES AND ENVIRONMENT
REPORT AUTHOR:	STEVE BIRD – ASSISTANT DIRECTOR (COMMUNITIES & STREET SCENE)

1. Purpose of Report

- 1.1 To advise Members of the reasons for proposed works to trees in City Council ownership, and to seek consent to progress the works identified.
- 1.2 This list does not represent all the work undertaken to Council trees. It is all the instances where a tree is either identified for removal, or where a tree enjoys some element of protection under planning legislation, and thus formal consent is required.

2. Background

- 2.1 In accordance with policy, Committee's views are sought in respect of proposed works to trees in City Council ownership, see Appendix A.
- 2.2 The responsibility for the management of any given tree is determined by the ownership responsibilities of the land on which it stands. Trees within this schedule are therefore on land owned by the Council, with management responsibilities distributed according to the purpose of the land. However, it may also include trees that stand on land for which the council has management responsibilities under a formal agreement but is not the owner.

3. Tree Assessment

- 3.1 All cases are brought to this committee only after careful consideration and assessment by the Council's Arboricultural Officer (together with independent advice where considered appropriate).
- 3.2 All relevant Ward Councillors are notified of the proposed works for their respective wards prior to the submission of this report.
- 3.3 Although the Council strives to replace any tree that has to be removed, in some instances it is not possible or desirable to replant a tree in either the exact location or of the same species. In these cases a replacement of an appropriate species is scheduled to be planted in an alternative appropriate location. This is usually in the general locality where this is practical, but where this is not practical, an alternative location elsewhere in the city may be selected. Tree planting is normally scheduled for the winter months following the removal.

4. Consultation and Communication

- 4.1 All ward Councillors are informed of proposed works on this schedule, which are within their respective ward boundaries.
- 4.2 The relevant portfolio holders are advised in advance in all instances where, in the judgement of officers, the matters arising within the report are likely to be sensitive or contentious.

5. Strategic Priorities

5.1 Let's enhance our remarkable place

The Council acknowledges the importance of trees and tree planting to the environment. Replacement trees are routinely scheduled wherever a tree has to be removed, in-line with City Council policy.

6. Organisational Impacts

6.1 Finance (including whole life costs where applicable)

i) Finance

The costs of any tree works arising from this report will be borne by the existing budgets. There are no other financial implications, capital or revenue, unless stated otherwise in the works schedule.

ii) Staffing N/A

iii) Property/Land/ Accommodation Implications N/A

iv) Procurement

All works arising from this report are undertaken by the City Council's grounds maintenance contractor. The Street Cleansing and Grounds Maintenance contract ends August 2026. The staff are all suitably trained, qualified, and experienced

6.2 Legal Implications including Procurement Rules

All works arising from this report are undertaken by the Council's grounds maintenance contractor. The contractor was appointed after an extensive competitive tendering exercise. The contract for this work was let in April 2006.

The Council is compliant with all TPO and Conservation area legislative requirements.

6.3 Equality, Diversity and Human Rights

There are no negative implications.

7. Risk Implications

- 7.1 The work identified on the attached schedule represents the Arboricultural Officer's advice to the Council relevant to the specific situation identified. This is a balance of assessment pertaining to the health of the tree, its environment, and any legal or health

and safety concerns. In all instances the protection of the public is taken as paramount. Deviation from the recommendations for any particular situation may carry ramifications. These can be outlined by the Arboricultural Officer pertinent to any specific case.

- 7.2 Where appropriate, the recommended actions within the schedule have been subject to a formal risk assessment. Failure to act on the recommendations of the Arboricultural Officer could leave the City Council open to allegations that it has not acted responsibly in the discharge of its responsibilities.

8. Recommendation

- 8.1 That the works set out in the attached schedules be approved.

Is this a key decision? No

Do the exempt information categories apply? No

Does Rule 15 of the Scrutiny Procedure Rules (call-in and urgency) apply? No

How many appendices does the report contain? 1

List of Background Papers: None

Lead Officer: Mr S. Bird,
Assistant Director (Communities & Street Scene)
Telephone 873421

**NOTIFICATION OF INTENDED WORK TO TREES AND HEDGES
RELEVANT TO THEIR CITY COUNCIL OWNERSHIP STATUS.
SCHEDULE No 8 / SCHEDULE DATE: 06/10/2021**

Item No	Status e.g. CAC	Specific Location	Tree Species and description/ reasons for work / Ward.	Recommendation
1	N/A	Greetwell Road – adjacent to number 89	<u>Abbey Ward</u> 1 x Hawthorn <u>Fell</u> This tree is currently standing as deadwood.	Approve works and replace with 1 x broadleaved Cockspur thorn; to be located within close proximity of the original planting.
2	N/A	Lincoln Arboretum – upper terrace	<u>Abbey Ward</u> 1 x Lime <u>Fell</u> This tree is currently retained as standing deadwood.	Approve works and replace with 1 x Lime; to be located within close proximity of the original planting.
3	N/A	A57 – Saxilby Road – adjacent to Carholme Golf Course	<u>Carholme ward</u> 5 x Elms <u>Fell</u> These trees have all succumbed to Dutch Elm Disease and are in close proximity to the public highway.	Replace with 5 native trees to be located within the adjacent tree belt.
4	N/A	63 Queen Mary Road	<u>Castle Ward</u> 1 x Hawthorn <u>Fell</u> This tree is currently retained as standing deadwood.	Approve works and replace with 1 x Hawthorn; to be located within the same grassland area.
5	N/A	117 Queen Elizabeth Road	<u>Castle Ward</u> 1 x Hawthorn <u>Fell</u> This tree is currently retained as standing Deadwood.	Approve Works and replace with 1 x Hawthorn; to be located within the same grassland area.

6	N/A	Amenity Grassland opposite the Lincoln Imp Public House	<u>Minster Ward</u> 1 x Elm <u>Fell</u> This tree is in heavy decline due to the presence of Dutch Elm Disease.	Approve works and replace with 1 x Zelkova; to be located within close proximity of the original planting.
7	N/A	Junction between Burwell Close and Laughton Way	<u>Minster Ward</u> 1 x rowan <u>Fell</u> This tree is in severe decline with approximately 70% of the canopy retained as deadwood; the tree also leans heavily towards the highway.	Approve works and replace with 1 x cut leaf Rowan; to be located within close proximity of the original planting.
8	N/A	54 Laughton Way	<u>Minster Ward</u> 1 x Laburnum <u>Fell</u> This tree is in severe decline – a central strip of decay extends from the ground to the canopy; approximately 50% of the base of the tree is bark- ringed.	Approve work and replace tree with 1 x <i>Laburnum x waterii</i> ; be located within close proximity of the original planting.
9	N/A	42 Sudbrooke Drive	<u>Minster Ward</u> 1 x Leyland cypress <u>Retrospective notice</u> This tree was felled as it was in close proximity to the adjoining property boundaries; the canopy was also in severe decline due to the presence of Coryneum canker.	Replace with 1 x Purple leaved plum; to be located within the grassland located opposite number 17.
10	N/A	Opposite number 20 Greenbank Drive	<u>Moorland Ward</u> 1 x Elderberry <u>Retrospective notice</u> This tree was felled as it was retained as standing dead wood in close proximity to the adjacent footpath and highway.	Replace with 1 x Oak; to be located within close proximity to the original planting.

11	N/A	Cow Paddle - South Park Avenue – Canwick Road junction	<u>Park Ward</u> 1 x Birch <u>Fell</u> This tree is in severe decline and is located close to the public highway.	Approve works and replace with 1 x Field maple; to be located within close proximity to the original planting.
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Application Number:	2021/0313/FUL
Site Address:	69 Carholme Road, Lincoln, Lincolnshire
Target Date:	11th October 2021
Agent Name:	Wilson Architects Ltd
Applicant Name:	Mr Harry Conti
Proposal:	Change of use of existing Guest House (Class C1) to 6 No one bedroom Flats (Class C3). Erection of a 2-storey rear extension and associated external alterations. (Revised Plans Received 31st August 2021)

Background - Site Location and Description

The application proposes the change of use of the property from Guest House (Class C1) to 6 No one bedroom Flats (Class C3) and the erection of a 2-storey rear extension and associated external alterations. The application property is 69 Carholme Road also known as Brancaster House the property is an attractive 2 storey mid-terraced townhouse with frontage onto Carholme Road which has previously been used as a Guest House but has been unoccupied for some time.

Currently arranged over three floors the accommodation briefly comprises of an entrance hall, living room, dining room, reception room, kitchen, conservatory and an attached one-bedroom annexe with living room and shower to the ground floor with three bedrooms and bathroom to the first floor and two further bedrooms to the second floor. Outside, the property fronts onto Carholme Road with access to the rear via Wellington Terrace.

The surrounding area is predominately residential with a mixture of guest houses, residential dwellings, and HMOs. There are also several commercial properties located on Carholme Road. Carholme Road also serves as a busy route for traffic into the City Centre and is relatively close to the University of Lincoln.

Site History

Reference:	Description	Status	Decision Date:
2019/0931/FUL	Change of use from Guest House (Class C1) to 9 Bedroom House In Multiple Occupation (Sui Generis).	Refused	9th January 2020

Case Officer Site Visit

Undertaken on 13th May 2021.

Policies Referred to

- Policy LP1 A Presumption in Favour of Sustainable Development
- Policy LP10 Meeting Accommodation Needs
- Policy LP26 Design and Amenity
- Policy LP37 Sub-division and multi-occupation of dwellings within Lincoln 86
- National Planning Policy Framework

Issues

To assess the proposal with regard to:

- Planning Policy Context
- Effect upon the residential and local amenity
- Design and Impact on Visual Amenity
- Effect on Highway Safety
- Flood Risk
- Other Matters

Consultations

Consultations were carried out in accordance with the Statement of Community Involvement, adopted January 2018.

Statutory Consultation Responses

Consultee	Comment
Highways & Planning	Comments Received
Environmental Health	Comments Received
Shane Harrison	No Response Received
Lee George	No Response Received
Environment Agency	Comments Received
West End Residents Association	Comments Received
Lincolnshire Police	Comments Received
Tracey Footsoy	No Response Received
Environmental Health	Comments Received
Highways & Planning	No Response Received

Public Consultation Responses

Name	Address
T Shelton	Westlyn Guest House 67 Carholme Road Lincoln Lincolnshire LN1 1RT
Mr Andrew Ross	57 Arthur Taylor Street Lincoln Lincolnshire LN1 1TL
Mrs Claire Penman	36 Richmond Road Lincoln Lincolnshire LN1 1LQ
Upper Witham Drainage Board	
Mrs Rani Grantham	60 Richmond Road Lincoln Lincolnshire LN1 1LH
Mr Robin Lewis	22 York Avenue Lincoln Lincolnshire LN1 1LL
K Littlecott	3 Rosebery Avenue Lincoln Lincolnshire LN1 1ND
Mr Geoffrey Robinson	59 Richmond Road Lincoln Lincolnshire LN1 1LH
Mrs Sandra Lewis	22 York Avenue Lincoln Lincolnshire LN1 1LL

All representations received on the application are copied in full at the end of this report and are available to view on the website:

<https://development.lincoln.gov.uk/online-applications/applicationDetails.do?activeTab=makeComment&keyVal=QR8G XKJFKAN00>

The main issues are summarised as follows:

- The proposed number of flats would over develop the site
- Loss of residential permit parking spaces in the area.
- Not in the spirit of the council's article 4
- Noise and disturbance from during the building works
- Overlooking from proposed balcony (removed during the course of the application)
- Concerns regarding proposed parking to front of property (removed during the course of the application)
- Existing party wall, boundary wall and surface water arrangements will need to be altered to accommodate the proposal (these are a private legal matter for the applicant and owners of neighbouring properties to resolve)

Consideration

Negotiations have taken place with Planning Officers and the agent which have led to several design changes including a reduced two storey extension, reduction of flat numbers from 7 to 6, removal of proposed parking to the front of the building, removal of a Juliet balcony and removal of windows within the side elevation of the proposed extension. Alternative uses have been formally and informally considered by the local planning authority. Ongoing discussions have led to this proposal for the conversion of the property into self-contained flats.

Policy Context

Paragraph 8 of the National Planning Policy Framework (NPPF) outlines the three overarching objectives of sustainable development and, as part of the social objective, it should be ensured that there is a sufficient number and range of homes that meet the needs of present and future generations.

Policy LP1 'A Presumption in Favour of Sustainable Development' of the Central Lincolnshire Local Plan (CLLP) states 'Planning applications that accord with the policies in this Local Plan will be approved without delay, unless material considerations indicate otherwise.'

Policy LP10 'Meeting accommodation needs' of the Central Lincolnshire Local Plan is relevant to the application site. The policy advises that 'new residential development should maintain, provide or contribute to a mix of housing tenures, types and sizes to help support the creation of mixed, balanced and inclusive communities.'

Central Lincolnshire Local Plan Policy LP37 relates to the conversion or change of use of existing dwellings and buildings in other uses to self-contained flats or shared accommodation. This advises that such proposals will be supported where the existing dwelling or building is capable of conversion without causing harm to the amenities of future occupants, neighbours and the wider area and there is adequate provision for external communal areas, bin storage and collection, and on-site parking and cycle storage.

Policy LP26 'Design and Amenity' of the Central Lincolnshire Local Plan (CLLP) is permissive of extensions/alterations to existing buildings provided the siting, height, scale, massing and form relate well to the site and surroundings, and duly reflect or improve on the original architectural style of the local surroundings; and use appropriate high-quality

materials, which reinforce or enhance local distinctiveness, with consideration given to texture, colour, pattern and durability. In relation to both the construction and life of the development, the amenities which all existing and future occupants of neighbouring land and buildings may reasonably expect to enjoy must not be unduly harmed by or as a result of development.

The requirement to demonstrate the established lack of demand for the single-family use of the property does not apply in this case as the property has previously been occupied as a guest house. This proposal will not result in the loss of a family home, as the property has been a guest house for many years and would likely be too large and require extensive works internally and therefore unattractive for a single family to modify and maintain. The principle of the use would therefore be acceptable and the presumption in favour of sustainable development would apply, subject to the consideration of other impacts associated with the proposed use.

Effect on the Amenities of the Wider Area and Future Occupants

The proposed two storey extension would extend 2.5 metres and the ground floor would extend 8.1 metres with a separation of approximately 1.6 metres to the boundary of the neighbouring properties. The positioning of the properties and minimal two storey projection means that any impact is minimised. Windows are proposed at ground floor facing No. 67 however given the boundary treatment there would be no issues of overlooking or loss of privacy. A bathroom window is proposed at ground floor facing No. 71 this by its nature would be obscure glazed therefore there would be no issues of overlooking from this window. It is considered that outlook from the new first floor rear bedroom windows would not be intrusive as it would not introduce any new form of overlooking which doesn't already occur from the existing first floor rear windows of the application property.

Properties to the rear on Wellington Street are located in excess of 30 metres from the proposed extension, Officers consider this distance sufficient so as not to cause harm to the occupants of these properties.

There are no other properties in the vicinity which would be affected by the proposed extensions and officers are therefore satisfied that the development would not cause undue harm to the amenities which occupiers of neighbouring properties may reasonably expect to enjoy, in accordance with CLLP Policy LP26.

In terms of the change of use, the site has a guest house to one side and offices to other and officers are satisfied that the use of the property as 6 flats instead of a guest house would not have a direct, adverse effect on the immediate neighbouring properties. It is considered that the proposed change of use would be less intensive than the current guest house use, which can accommodate a total of 10 users overnight and management and would afford a greater level of control over the use of the property as users will be subject to tenancy agreements. The City Council's Pollution Control Officer has not raised any objection to the change of use in respect of noise or other environmental impact. In this instance the age of the property and its construction will be of benefit to limiting sound transmission, but in any case, the works will need to comply with the relevant Building Regulations requirements. It is therefore not considered that any noise attenuation measures are required.

Officers consider that the six units can be comfortably accommodated within the new

footprint and each of the bedrooms and kitchen/living areas have the benefit of a window. The size of the flats are also considered to be acceptable; ranging from 35 square metres to 43 square metres. Although Flats 2 and 3 are 2m² below the nationally described space standards, they are usable, open plan spaces with ample storage facilities and access to natural light. The proposal still provides sufficient quality of accommodation to its occupants. Accordingly, there is no objection in principle to the conversion.

Officers are therefore satisfied that the proposed development would not cause harm to the amenities of future occupants, neighbours, or the wider area, in accordance with CLLP Policies LP26, and LP37.

Conditions are proposed regarding hours of work in order to protect the surrounding neighbouring properties.

The Design and Impact on Visual Amenity

The property as existing appears to have been relatively untouched and is currently vacant and would appear to be falling into a state of disrepair. The physical alterations to the building to enable the creation of 6 flats would comprise of a two storey and single storey rear extension. The design of which has been amended during the application process at the request of officers. The revisions have resulted in a reduced two storey extension and parapet detailing to the flat roof. Although located to the rear the extensions would be visible from Wellington Street. Whilst a flat roof extension would not normally be considered to compliment or enhance the building, the agent has produced several pitched roof designs which for various reasons have failed to produce a suitable solution. A flat roof is therefore considered the most suitable solution and careful consideration has been given to the design. Detailing around the main rear elevation such as bands of brick soldier coursing and vertical stack bonded brickwork below window cills to minimise any monotony of brickwork have been included. It is therefore considered the amended proposal responds well to the surrounding context of the site and will assimilate into the streetscene without causing harm to the character or appearance of the wider area. The scheme would bring the premises back into full use having a wholly positive impact on the local area.

Effect on Highway Safety

The proposal includes 5 off road parking spaces at the rear and no vehicular access to the front. This is considered an acceptable amount of parking in this location for 6 one-bedroom flats. The site is within close proximity to the city centre, where there is sufficient access to shops, places of work and public transport options for the proposed accommodation, to be suitable for those without a motor vehicle. It is expected that the main mode of transport would be either walking or cycling, which would greatly reduce the need for vehicle usage, due to its location. Lincolnshire County Council Highways and Planning have therefore raised no objections to the proposal in regard to Highway Safety. Therefore, based on this advice it is considered that the proposal would not be detrimental to highway safety or traffic.

Objectors have cited concerns about the increase in numbers of residents requiring parking permits and exacerbating on street parking. The applicant has agreed to signing a Section 106 legal agreement that the future occupants of the site will not be eligible for a residents parking permit, which is welcomed but it is not reasonable to control the parking in this way. The Council has control through other mechanisms in the manner through

which permits are issued and the control should be exercised this way.

The site also has electric charging points proposed to all parking bays so as to futureproof the facilities as more and more vehicles turn to electric.

Flood Risk

The site is located within Flood Zone 2 and the application is accompanied by Flood Risk Assessment. The Environment Agency who has confirmed they have no objections to the development. The Lead Local Flood Authority have advised that surface water flood risk would be unaffected by the changes proposed. As such, officers consider that there would be reason to object to the application on the grounds of flood risk.

Other Matters

Bin and Cycle Storage

There is an external amenity space to the rear of the property. Waste and Recycling storage have been provided to the rear of the property adjacent to the boundary, giving good access to all occupants and easy collection for refuse vehicles. An internal cycle storage arear has been provided on the ground floor.

Section 106

Given the application site is within the Carholme Ward there would be a requirement for the applicants to enter into an S106 agreement to ensure that the property is not occupied by students. This stipulation is applied to all new builds in the West End of Lincoln due to issues which have arisen from an over population of students in the past which has caused an imbalance in the community. The applicants and owners of the land are happy to enter into such an agreement should members be minded to approve the application.

Application Negotiated either at Pre-Application or During Process of Application

Yes.

Financial Implications

None.

Legal Implications

The landowners are required to enter into a Section 106 legal agreement.

Equality Implications

None.

Conclusion

The extension and conversion of the property to six flats is acceptable in principle in this location. Neither the use nor the external works would cause undue harm to the amenities of neighbouring properties. A Section 106 agreement to restrict the occupation of the flats

by students would further protect the residential amenities of neighbours and the wider community. Officers are satisfied that the site provides adequate provision for external communal areas for amenity as well as bin and cycle storage. Technical matters relating to flood risk and air quality are to the satisfaction of the relevant statutory consultees. The proposals would therefore be in accordance with the requirements of Central Lincolnshire Local Plan Policies LP10, LP26 and LP37 and guidance within the National Planning Policy Framework.

Application Determined within Target Date

Yes.

Recommendation

That the application is granted conditionally subject to the signing of a Section 106 agreement that the approved flats are not occupied by students and not entitled to resident parking permits.

Conditions

- Development to commence within 3 years
- Development to be in accordance with the plans
- EV Points implemented before use commences
- Permitted Development for new openings removed
- Construction hours restricted

2021/0313/FUL – 69 Carholme Road

Site Plan



Proposed Plans



Front Elevation



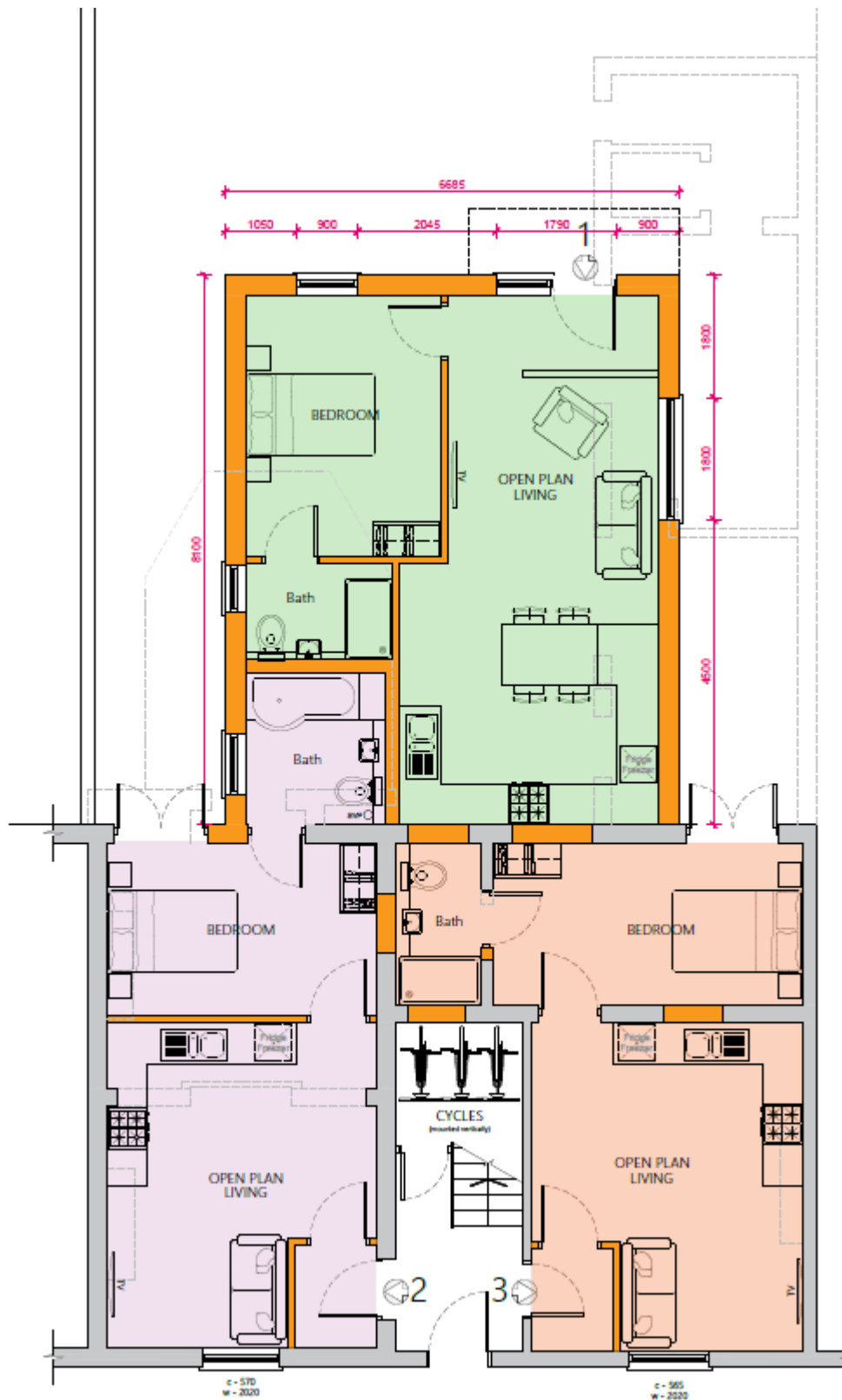
Rear Elevation



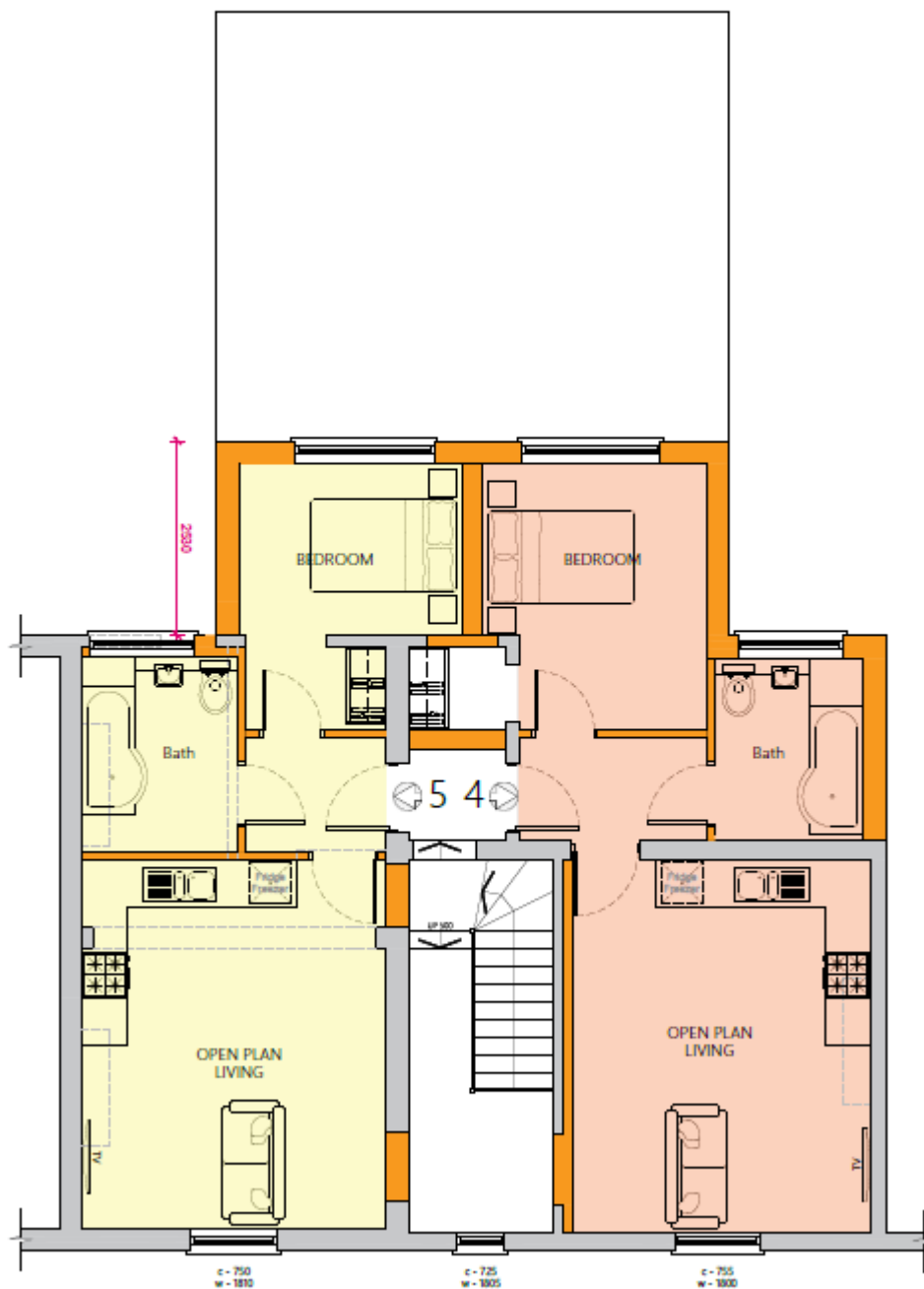
Side Elevation



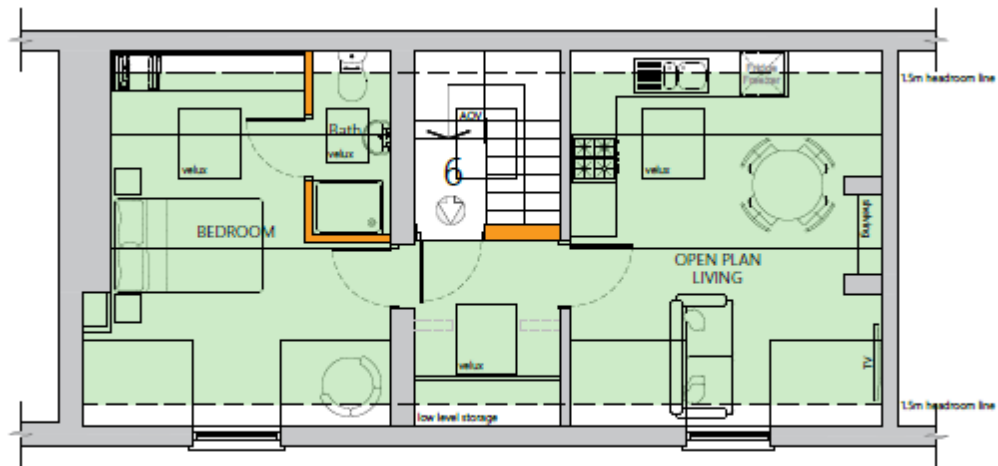
Side Elevation



Ground Floor Plan



First Floor Plan



Second Floor Plan

Site photographs







Consultation responses



67 Carholme Road, Lincoln LN1 1RT

Hosts: Terry & Julieanna Shelton



26/4/21

Dear Sir/Madam

Please note our comments below re this application that would affect us.

1. It looks on the plans that the rear extension to N-69 is to be removed. If this is correct then the side external wall to N-67 forms the boundary wall between the properties. As this wall is standing on our property we do not wish to lose it, as this gives us privacy.
2. The proposed balcony + side frosted glass windows, assuming they open, will overlook our bedroom windows, garden + conservatory.



2



67 Carholme Road, Lincoln LN1 1RT

Hosts: Terry & Julieanna Shelton



3. There is a gutter/down pipe from our property that discharges onto the roof of the current extension.

(I believe this goes back to when it was built).

New arrangements would be needed to facilitate the rainwater removal, at builders cost.

4. It looks like the tree is preserved at the rear, but we would also like the hedging protected.

5. The internal party walls let through a fair bit of noise, so we are concerned about this also.



67 Carholme Road, Lincoln LN1 1RT

Hosts: Terry & Julieanna Shelton

Therefore we are not totally
against the plan if all these
points are rectified.

Yours

Mr Andrew Ross - 57 Arthur Taylor Street, Lincoln, LN1 1TL

This area, which I've lived in for over 40yrs, is getting worse and worse, with all these conversions and extensions. Car parking is overloaded down here, doctors are overworked and we have staggeringly high waiting times to get an appointment. Cramming more and more people into a small area is not on, it can't handle it. Residents are finding it hard to find anywhere to park on their own streets ...even with permits. Slowly but surely this area is being strangled.

Mrs Claire Penman - 36 Richmond Road, Lincoln, LN1 1LQ

I wish to object to the above planning application. The change of use to 7 one bedroom flats will increase the population of an already crowded West End. There is potential for the need for more parking as the 7 bedrooms are double rooms but only 7 parking spaces are being provided. There are already too many cars for parking spaces across the West End and this will exacerbate the problem. The need in the area is not for more apartments but for more family homes to balance a neighbourhood which is already over-run with flats, HMO's and student accommodation.

Mrs Rani Grantham 60 Richmond Road, Lincoln, Lincolnshire, LN1 1LH

I strongly object to this application as it is another example of over development in the West End. Adding two flats is pure greed on the part of the landlord. Car parking is already a major issue and this is definitely going to make it worst.

Mr Robin Lewis - 22 York Avenue, Lincoln, Lincolnshire, LN1 1LL

I have no objection to this application in principal as I believe the type of accommodation proposed i.e. apartments is much needed in Lincoln as opposed to HMOs of which there are too many. However I note that the apartment plans indicate they will have double beds and therefore the development could house 14 people. There are 7 parking spaces provided but if all 14 have a car, unlikely but possible, then it would mean more cars parking in the already massively overcrowded West End. I therefore ask that if this application is approved it should be on the understanding that no Council parking permits will be issued to the occupants.

I also request that a Section 106 constraint is applied if approval is given so that these apartments cannot be let to students. Accommodation of this type should be available to people who work in and around the City

K Littlecott - 3 Rosebery Avenue, Lincoln, LN1 1ND

Whilst it's clearly necessary to repurpose the property in some way, the plans show the intent to create 7 individual addresses which, unless a restriction is added to the planning permission, would all technically be able to apply for 2 parking permits in the local residents parking scheme area which already has insufficient parking for the residents.

In the interest of balancing the owner/landlord's commercial gain with the needs of the existing residents of the local areas, could there be a condition added such that the individual addresses to be created by this development are not eligible for a residents' parking permit, given that they already each have their own private parking space.

The plans show that it is intended that the front boundary wall be demolished to create the additional 2 parking places required due to the proposed increase from a 5-bed property to 7 individual dwellings.

This potentially sets a new precedent for property owners on Carholme Road as it's believed that no other property has done this (yet). Carholme Road (A57) is a busy route into central Lincoln and to access these parking spaces, drivers will have to either reverse off or on to a main road. The latter, whilst not illegal is not advisable for safety reasons (according to police guidance) and any resulting RTAs, especially at a peak travel time would have a substantial knock-on effect on traffic congestion in Lincoln. Even needing to reverse off the busy main road and across a broad tarmac pavement area before ending up in the designated parking spot doesn't seem like a great idea either, introducing an element of risk all round with an increased chance of an accident/traffic hold up.

Granting planning permission allowing this owner to have front garden parking surely opens things up for other property owners on Carholme Road to apply for similar arrangements. Every new dropped kerb in front of a residential property, achieved through planning permission being granted, effectively takes away a parking space available to all local residents and hands it to one particular individual. The individual in such cases is often a landlord then able to monetize the added parking by the generation of an increased return on their investment property.

If the development was limited to 5 dwellings, there wouldn't be the need for the 2 extra parking spaces.

In summing up, no objection to the development of the property into self-contained residential units but objection to the intent to create 2 extra units with the additional parking and consequences thereof for existing local residents/people needing to drive along Carholme Road.

Mr Geoffrey Robinson - 59 Richmond Road, Lincoln, LN1 1LH

I object to the planning for this address as I have for the property on hamoton street as I think we have enough flats,H.M.O's etc in our area. We have problems with parking social disturbance in the streets and many more I could name, its about time we stood up to all these plans that are still allowed to carry on, and try to get families to live round here not students. Shame on the council to allow this to still happen, I

suppose they dont have to live round this area anymore as they have made their money and moved on. So much for Article 4 to help the residents!

Mrs Sandra Lewis - 22 York Avenue, Lincoln, LN1 1LL

I wish to object to this application as it is another example of over development in the West End. This has been a 5 bed guest house previously and I see no reason why it should not be converted to 5 apartments but adding a further extension to squeeze in 2 additional apartments is unacceptable. The West End is continually targeted by landlords trying to maximise profit on their properties without having any thought for the impact on the community. Their is also a potential car parking issue as with 7 apartments, all with double beds, their could be 14 people in the property with only 7 car parking spaces. This could mean up to 7 more parking permits being requested in an area which is already massively congested

West End Residents Association

The community spirit and neighbourliness that we have in this area are largely due to the number of families here who care passionately about contributing towards a safe, pleasant and caring community. They also maintain their Victorian properties to a high standard, in keeping with the aims of the original architects.

However this planning application, would seem to want to contribute nothing towards these ideals and to be only about personal gain. It is flouting the spirit of Article 4, seeking only to increase the number of sub-standard rooms available to a transient population who contribute little to our community, and frequently actually bring about harm and distress to local residents.

We are very concerned about the impact that this proposed development would have on its immediate neighbours, as well as those who would be impacted at a greater radius by an increase in night-time noise, rubbish left in gardens, wheelie bins left on pavements and the potential increase in the number of vehicles attempting to park in the evenings.

We strongly object to this planning application that is seeking, by stealth, to open a loophole around Article 4 that would be of great detriment to our area.

Upper Witham Drainage Board

Dear Sir/Madam,

REFERENCE: 2021/0313/FUL

DEVELOPMENT: CHANGE OF USE OF EXISTING GUEST HOUSE (CLASS C1) TO 7 NO ONE BEDROOM FLATS (CLASS C3). ERECTION OF A 2-STOREY REAR EXTENSION INCORPORATING JULIETTE BALCONY TO FIRST FLOOR LEVEL AND ASSOCIATED EXTERNAL ALTERATIONS.CHANGE OF USE OF EXISTING GUEST HOUSE (CLASS C1) TO 7 NO ONE BEDROOM FLATS (CLASS C3). ERECTION OF A 2-STOREY REAR EXTENSION INCORPORATING JULIETTE BALCONY TO FIRST FLOOR LEVEL AND ASSOCIATED EXTERNAL ALTERATIONS.

LOCATION: 69 CARHOLME ROAD, LINCOLN, LINCOLNSHIRE, LN1 1RT

Thank you for the opportunity to comment on the above application. The site is within the Upper Witham Internal Drainage Board district.

The site is in Zone 2/3 on the Environment Agency Flood Maps and potentially at flood risk. It is noted a Flood Risk Assessment is included in the Application that contains appropriate mitigation.

No development should be commenced until the Local Planning Authority, in consultation with the Lead Local Flood Authority has approved a scheme for the provision, implementation and future maintenance of a surface water drainage system. Where Surface Water is to be directed into a Mains Sewer System the relevant bodies must be contacted to ensure the system has sufficient capacity to accept any additional Surface Water.

Regards,

Richard Wright

Operations Engineer



City of Lincoln Council
Development Control
City Hall Beaumont Fee
Lincoln
LN1 1DF

Our ref: AN/2021/131700/01-L01
Your ref: 2021/0313/FUL
Date: 08 April 2021

Dear Sir/Madam

Change of use of existing guest house (class C1) to 7 no one bedroom flats (class C3). Erection of a 2-storey rear extension incorporating Juliette balcony to first floor level and associated external alterations
69 Carholme Road, Lincoln, LN1 1RT

Thank you for your consultation of 8 April 2021 regarding the above application.

Environment Agency position

As identified in the submitted Flood Risk Assessment (FRA), the site is just within Flood Zone 2 (medium probability of flooding in the absence of defences). Our hazard mapping, which takes account of flood defences, indicates that the property is just outside the modelled extent of flooding in case of a breach, including when allowance is made for climate change over the lifetime of the development.

We consider that there will be no significant increase in flood risk to people through the proposed change of use and have no objection to the application. However, we agree with the conclusion of the FRA that a flood emergency plan should be put in place to manage the residual risk of flooding. We recommend that you secure this through a planning condition.

Please note that the Environment Agency does not normally comment on or approve the adequacy of proposed flood emergency response procedures accompanying development proposals, as we do not carry out these roles during a flood. Our involvement with this development during an emergency will be limited to delivering flood warnings to occupants/users covered by our flood warning network.

The owner/future residents should register with our Floodline Warnings Direct service to receive alerts and warning by phone, email or text message. This can be done online at <https://www.gov.uk/sign-up-for-flood-warnings> or by calling Floodline on 0345 988 1188.

Should you require any additional information, or wish to discuss these matters further, please do not hesitate to contact me on the number below.

Ceres House, Searby Road, Lincoln, LN2 4DW
Customer services line: 03708 506 506
Email: LNplanning@environment-agency.gov.uk
www.gov.uk/environment-agency
Cont/d..

Calls to 03 numbers cost no more than national rate calls to 01 or 02 numbers and count towards any inclusive minutes in the same way. This applies to calls from any type of line including mobile.

Yours faithfully

Nicola Farr
Sustainable Places - Planning Specialist

Direct dial 02030 255023
Direct e-mail nicola.farr@environment-agency.gov.uk



LINCOLNSHIRE POLICE

POLICE HEADQUARTERS
PO Box 999
LINCOLN LN5 7PH
Fax: (01522) 558128
DDI: (01522) 558292
email
john.manuel@lincs.pnn.police.uk

Your Ref: App. 2021/0313/FUL

9th April 2021

Development & Environmental Services

City Hall, Beaumont Fee
Lincoln, LN1 1DF

Town and Country Planning Act 1990 Consultation on Planning Permission

69 Carholme Road, Lincoln, Lincolnshire, LN1 1RT

Change of use of existing Guest House (Class C1) to 7 No one bedroom Flats (Class C3). Erection of a 2-storey rear extension incorporating Juliette balcony to first floor level and associated external alterations.

Lincolnshire Police do not have any objections to this application.

Please do not hesitate to contact me should you need further information or clarification.

Please refer to *Homes 2019* which can be located on www.securedbydesign.com Homes 2019.

Crime prevention advice is given free without the intention of creating a contract. Neither the Home Office nor the Police Service takes any legal responsibility for the advice given. However, if the advice is implemented it will reduce the opportunity for crimes to be committed.

Yours sincerely,

John Manuel MA BA (Hons) PGCE PGCPD Dip Bus.

Force Designing Out Crime Officer (DOCO)

Application Number:	2021/0002/FUL
Site Address:	Land to the Rear of 10 Steep Hill, Lincoln, Lincolnshire
Target Date:	2nd March 2021
Agent Name:	Core Architects
Applicant Name:	J O'Donohue & T Gumbrell
Proposal:	Erection of two detached Dwellings and demolition of two garage buildings.

Background - Site Location and Description

This application proposes to build two new houses on land to the rear of 10 Steep Hill. The garden and land associated with this property extends through from Steep Hill to Michaelgate and is currently occupied by several empty and derelict former garages. The land on this part of the historic hillside is terraced and the application site is relatively level, the terrace above being retained by a boundary wall at the northern edge of the application site and a retaining wall on the south side of the site retaining the application site and forming the terrace on which the house known as Strelitzia sits.

The application proposes two new houses; a two storey contemporarily designed house at the back edge of the footpath to Michaelgate and then a second more traditionally designed and proportioned house to the east, of one and a half storeys, the upper floor being within the pitched roof.

Part of the site lies within an area that is a Scheduled Ancient Monument, which is based on the Roman Lindum Colonia and the whole of the site falls within the Conservation Area.

Access to both plots would be from Michaelgate, the property to the west having the upper floor extending over the ground level drive that would lead through the site to the house to the east, meaning that both new houses would have off-street car parking.

Site History

Reference:	Description	Status	Decision Date:
2021/0003/LBC	Erection of two detached Dwellings and demolition of two garage buildings. (LISTED BUILDING CONSENT).	Pending Decision	

Case Officer Site Visit

Undertaken on several occasions, most recently 23rd September 2021.

Policies Referred to

- Planning (Listed Buildings and Conservation Areas) Act 1990 – sections 16, 66 and 72.
- National Planning Policy Framework (NPPF) – particularly: para 11 – presumption in favour of sustainable development; para 130 – achieving well designed places; para 183 and 184 – ground conditions and pollution; Chapter 16 – Conserving and enhancing the historic environment, particularly paras 199, 201, 202, 203.

- Central Lincolnshire Local Plan – particularly: Policy LP25 The Historic Environment and Policy 34 Design and Amenity Standards.

Issues

The application site is a prominent location in the heart of the City. It sits on the historic hillside and consequently the proposals raise a number of issues:

1. Compliance with National and Local planning policies;
2. Impact on the character and appearance of the conservation area and wider views of the hillside;
3. Impact on the amenity of neighbouring properties;
4. Impact on slope stability;
5. Impact on the Scheduled Monument and archaeology;
6. Other matters.

Consultations

Consultations were carried out in accordance with the Statement of Community Involvement, adopted January 2018.

Statutory Consultation Responses

Consultee	Comment
Highways & Planning	Comments Received
Anglian Water	Comments Received
Lincoln Civic Trust	Comments Received
Lincolnshire Police	Comments Received
West End Residents Association	No Response Received

Public Consultation Responses

Name	Address
Mr Carl Frost	61 High Street Billinghay Lincoln Lincolnshire LN4 4AU

Mrs Karen Spencer	20 Michaelgate Lincoln LN1 3BT
Mr Brian Hudson	2 Hawthorn Corner Aubourn Lincoln LN5 9FF
Mrs Lys Reiners	1 Cromwell Avenue Woodhall Spa LN10 6TH
Mr David Butler	11 Steep Hill Lincoln Lincolnshire LN2 1LT
David Lewis	Strelitzia Michaelgate Lincoln Lincolnshire LN1 3BT
Mr Robert Dorrian	St Michael's Lodge Christ's Hospital Terrace Lincoln LN2 1LY
Mr Glyn Dyer	2 Western Street Barnsley South Yorkshire S70 2BP
Mr Thomas Gumbrell	10 Steep Hill Lincoln Lincolnshire LN2 1LT
Mrs Natasha-Jade McFadyen	57A Yarborough Road Lincoln LN1 1HS
Mr Nicholas Fox	65 Manton Road Lincoln Lincolnshire LN2 2JL
Mr Chris Appleton	17 Cordage Court Lincoln Lincolnshire LN1 1EN
terry the bear	big bedroom hungate lincoln ln1 1tb

Mr Glenn Chambers	71 Woodfield Avenue Birchwood Lincoln LN6 0LU
Mrs Wendy Butler	11 Steep Hill Lincoln LN2 1LT
Mr Michael Bolton	266 High Street Lincoln Lincolnshire LN2 1HW
Mrs Jane Goulden	12 Michaelgate Lincoln Lincolnshire LN1 3BT
Mr Michael Limming	32 South Park Lincoln LN5 8EP
Mr Colin Hill	18 Cordage Court Lincoln LN1 1EN
Mr David Nejrup	9 Daisy Road Witham At Hughs Lincoln LN6 9ZH
Miss Rosemary Wood	5 Cecil Street Lincoln Lincolnshire LN1 3AT
Mr Douglas Williamson	11 Cordage Court Lincoln Lincolnshire LN1 1EN
Mr Henry Flear-Charlton	4 Turner Street Lincoln Lincolnshire LN1 3JL
Mr Jamie Kyle	68 Andover Road Nottingham NG5 5FF
Mr Anton Southward	39 Woodfield Avenue Lincoln LN6 0LJ
Miss M Lindeman	12 Chapel Lane Nettleham Lincoln LN2 2NX

Mrs Fiona Stafford-Baker-Thomas	38 Saxon Street Lincolnshire Lincoln LN1 3HQ
James T Russell	Hungate Lincoln LN1 1ET
Mrs Sue Storey	5 Michaelgate Lincoln Lincolnshire

Consideration

National and Local Planning Policy

The application site is within the heart of the City and proposes two new houses to be built to modern standards. The location and the construction of the houses will be highly sustainable. The impact on the historic environment will be considered in detail below as will the design and amenity standards of what is proposed together with the impact on slope stability.

Impact on the Character and Appearance of the Conservation Area and the Hillside

The design of the two houses and their relationship to the historic context within which they would sit has been the subject of detailed analysis and consideration. The applicant has produced a Design and Access Statement and a Heritage Impact Assessment (HIA) which examines in detail the physical impact of what is proposed, both in terms of the effect on the appearance of the Conservation Area and the effect on the below ground archaeology. The application and associated documents have been assessed by your Planning Officers, the Principal Conservation Officer and the City Archaeologist.

The site in its current condition is considered to be harmful in its visual impact on the amenity of the area. The garages on the site have been in a dilapidated condition for many years and there is a distinct lack of definition to the east side of Michaelgate at this point; this site and the one adjacent to the north create an out of character gap in the built form at this point. Michaelgate is defined in the most part by development on its east side at the back of pavement and on the west side by the high brick wall that encloses the terraced grounds of what is now Bailgate Court (formerly Chad Varah.) To the south of the application site is the modern three storey house known as Strelitzia and this is set back from pavement – it is very much the anomaly in terms of its siting on Michaelgate. The application proposal for a new house at the back of pavement therefore responds to the characteristic built form of the street and would repair in part the gap in the street that is currently apparent.

The new house to Michaelgate, dwelling A in the HIA, is two storeys in height and of a contemporary design with a flat roof. The building extends back eastwards into the site and is proposed to be built tight up against the northern boundary, adjacent to an existing brick retaining wall. The elevation to Michaelgate allows for vehicular access to the southern edge of the site so that the ground floor of the building would be narrower than the first floor. The front door to the property would be located to the northern side of the

Michaelgate elevation and be set in reveal and this then allows the first floor to appear to cantilever out over the ground floor on both sides. The building follows the slight curve in Michaelgate at this point and is successful in re-introducing definition to the street at this point. The design is good, the proportions pick up on those in the area and the applicant is proposing to use traditional materials, particularly brick, which helps blend the contemporary design into the established setting.

The southern elevation of the house which would face Strelitzia is the longer elevation and has within it at first floor along recessed balcony feature at first floor that would afford views across the City. It faces towards the house to the south but is at a height and of a position that it does not unduly harm the privacy of that property. The northern elevation of the building, which would be built adjacent to the retaining wall which forms the boundary between the application site and No. 11 Steep Hill to the immediate north. The elevation has some variety designed into it but has also been designed in such a way as to not inhibit the development of that land to the north. The eastern elevation of the building faces back towards 10 Steep Hill and the second house that is part of this application.

Dwelling A is of a scale that is appropriate for the hillside, fits with the stepping down that is apparent when viewing the site from a distance and would be built of materials that are appropriate to the local area. It is a contemporary design but it is carefully designed for its context and respects the existing surroundings. It does not cause harm to the character or to the appearance of the conservation area and repairs a gap in the streetscene.

Dwelling B is a new one and half storey building proposed to be built between 10 Steep Hill and Dwelling A described above. The position of the house is not dissimilar to a much older existing cottage to the north which sits between Steep Hill and Michaelgate and faces south across the City. The proposal for Dwelling B is a modest property with traditional proportions, of red brick with a pitched slate roof within which an upper floor is accommodated with, on the southern elevation, a small dormer that runs through the eaves and two rooflights. The building is modelled such that a lower single storey element is situated on its east side which adds interest to the design and reduces the potential impact on the property to the north. The north elevation is blank other than a single door and the east and west elevations of the building are blank. The house, unlike Dwelling A, would be built approximately one metre south of the retaining wall on the northern boundary of the site. The position and design of the building does not cause harm to the character and appearance of the conservation area.

The development of the two dwellings as proposed will still leave 10 Steep Hill with a decent sized garden that is not uncharacteristic in the local context and the development will also leave 10 Steep Hill with two parking spaces, accessed from Michaelgate along with the vehicular access for the two new houses. There is no harm to the setting of 10 Steep Hill.

The proposals, as detailed above, do not cause substantial harm to the heritage asset that is the conservation area (the impact on the archaeology and Scheduled Monument will be dealt with below). The existing condition of the site, the derelict garages, has existed for many years and is a harmful impact on the conservation area. The development would remove that harm and can therefore be considered, taking all of the matters discussed above into account, to be neutral in its impact on the character and appearance of the conservation area. The use of the land for houses is likely to be its optimum viable use.

Impact of the Proposed Buildings on the Amenity of Neighbours

The position of the site and the particular location of neighbours means that the impact of the proposals on neighbours' amenity is largely restricted to the impact on No. 11 to the north and to Strelitzia to the south. The development will potentially be visible from other residential properties beyond these, but any impact is limited to a change in outlook and in no cases could that be considered harmful in relation to this development.

Taking the impact on the property to the south there is a limited impact. Dwelling A has the balcony that faces south but this is positioned in such a way that the potential for overlooking is limited. The owner and occupier of that property has written in support of the application.

The property to the north, 11 Steep Hill has been extended fairly recently with a high quality extensively glazed single storey structure on its south side and this property has a common boundary with the application site in the form of the retaining wall that is referenced above. The owner and occupant of 11 Steep Hill has provided a detailed objection to the application proposals.

We have, as always, carefully assessed the impact of the proposals on this property and whilst there will be an effect, the limited scale of dwelling B and the difference in levels means that the effect on no.11 is not considered so harmful that it could justify a refusal of planning permission. Dwelling A is at the western end of the site and has been designed with a blank wall facing the garden area of No.11 so that there is no overlooking. The building again is not so harmful in its effect as to justify refusal.

Impact on Slope Stability and Impact on the Schedule Monument and Archaeology

Roman Lincoln, as we understand it covered a significant part of uphill Lincoln, the hillside and some areas downhill and much of that area is identified as a Scheduled Ancient Monument because of the (mostly) below ground roman remains and potential roman remains. The application site falls partly within the area of the scheduled monument, dwelling A being outside the Scheduled area whilst dwelling B falls within the Scheduled area as does all of the garden of 11 Steep Hill to the north. We, as the local planning authority, have to have regard to the impact of development on heritage assets; we have considered the impact on the conservation area above and we must also consider the impact on the heritage asset that is the Scheduled Monument. We consulted Historic England on the proposals; permission from Historic England is also required where works will affect a scheduled monument and whilst this permission is entirely separate from planning permission we do endeavour to work together in cases such as this to ensure a co-ordinated response.

The Heritage Impact Assessment, submitted with the application, sets out how the effect of the development on the scheduled monument will be mitigated. The design of the foundations for the houses is critical to the understanding of this impact. Foundations for new developments on the hillside have tended to be piled foundations in recent years because these piles can lock into the underlying bedrock and prevent problems that we have previously experienced in relation to land slip. However, a piled foundation, by its very nature, can be harmful to the archaeology of a site and where the sites are scheduled because of that archaeology a more considered approach is needed. In this particular case the architect has designed a raft foundation for both house that sits above the known archaeology. Your officers subsequently requested that the design for the raft foundation

was then further assessed to ensure that it would not lead to problems of slope stability. A qualified structural engineer has undertaken this assessment and has advised that, subject to the particular design of the raft being undertaken on site, then there will not be a problem with slope stability.

Historic England has granted consent in part for works to be undertaken within the area of the scheduled monument but has advised that further detail will be needed before the development of the two houses could go ahead. Your City archaeologist is in agreement with that advice but both parties are satisfied that the development of the site will be possible. We will recommend conditions that deal with these matters before work commences.

The neighbour at No. 11 who has objected to the development is concerned both about slope stability and about the scheduled monument and has himself experience of both issue when a portion of the retaining wall collapsed about three years ago. The development proposed will strengthen the retaining wall, which is in poor condition and this strengthening will need to be undertaken before development of the houses can take place. This can also be controlled by way of appropriate conditions.

Overall the impact on the scheduled monument can be controlled and mitigated and Historic England considers the effect of the proposed works upon the monument to be works which would materially alter the present condition and appearance of this part of the monument, but potentially without damage to the significance of its buried archaeological deposits or terraced character.

Other Matters

- Highways – no objections raised. Dwelling A has two parking spaces, dwelling B has one and No.10 Steep Hill retains two parking spaces.
- Contaminated land – condition to be applied to deal with unexpected contamination found during construction
- Electric Vehicle Charging points – minimum of one per new dwelling
- Working Hours – Demolition, construction and construction deliveries - *am to 6pm Monday to Saturday, 8am to 1pm Saturday and not at all on Sundays or bank Holidays.

Application Negotiated either at Pre-Application or During Process of Application

Pre-application discussions and further discussions and negotiation during the course of the application.

Conclusion

The development of the two houses will change the appearance of this part of the City but the designs have been developed in such a way that it is considered that the change that would result would not be harmful to the area, to the heritage assets in the area and would not be unacceptable to the amenity of the neighbouring residents.

Application Determined within Target Date

Yes – as extended

Recommendation

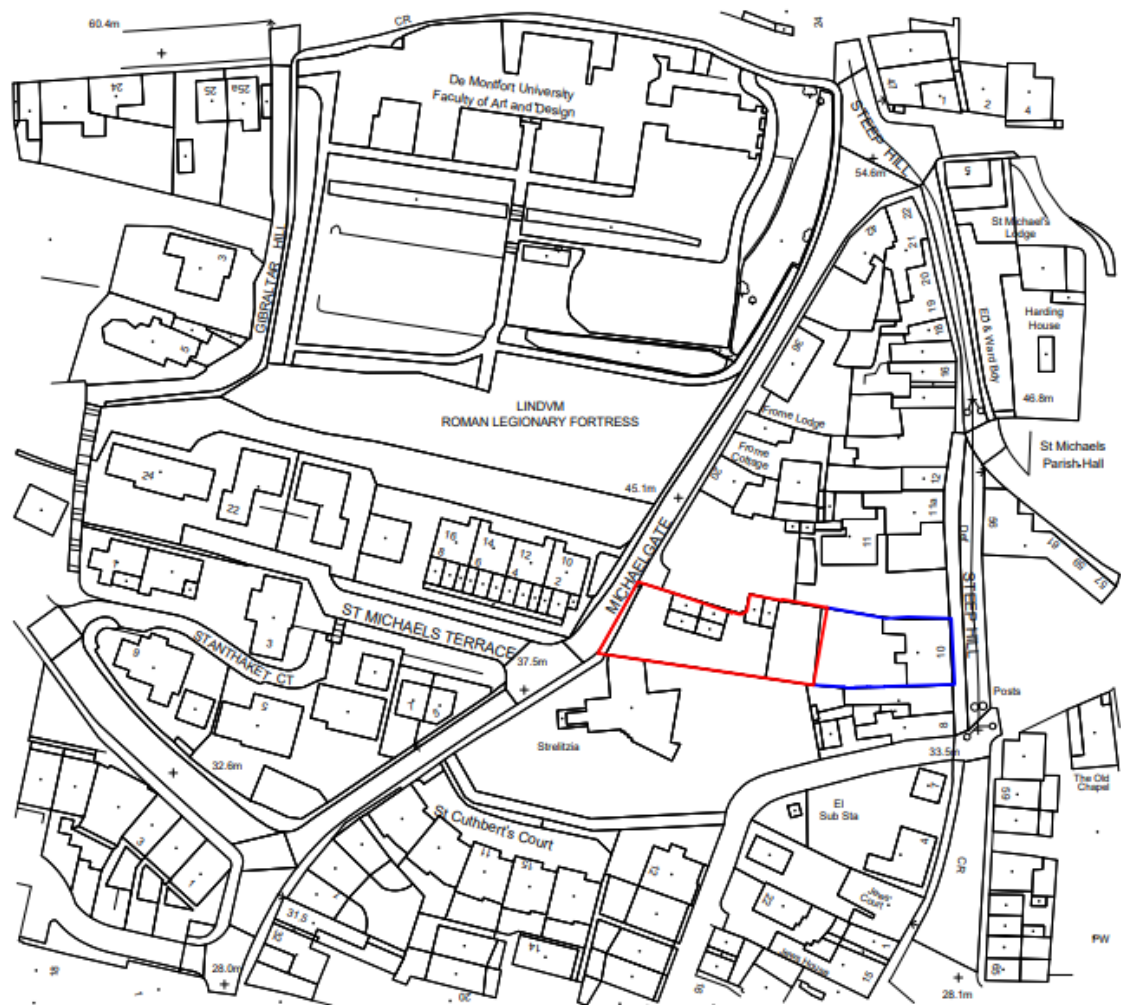
That planning permission is GRANTED subject to the conditions summarised below.

Standard Conditions

1. Development to commence within three years
2. Development to be carried out in accordance with the approved drawings
3. Details of the facing materials to be submitted and approved before commencement
4. Details of the methodology for the installation of the foundation for both properties and for the retention and strengthening of the retaining wall along the northern boundary of the site
5. Works to be undertaken in accordance with archaeological watching brief
6. Detail of boundary treatments
7. Details of surfacing materials
8. Details of surface water drainage
9. Electric vehicle charging points for each new dwelling
10. Hours of work as reported above

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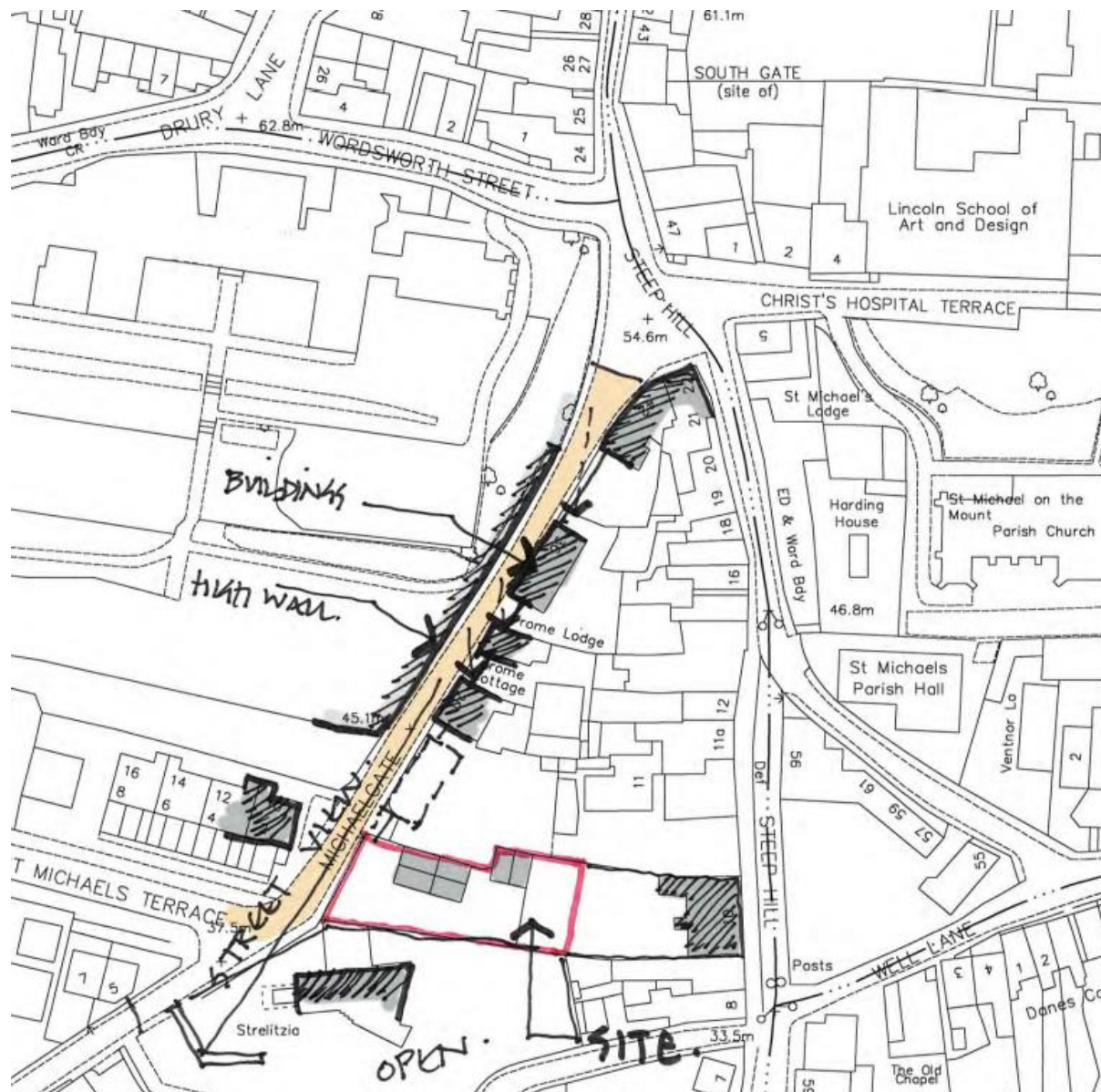
10 Steep Hill.







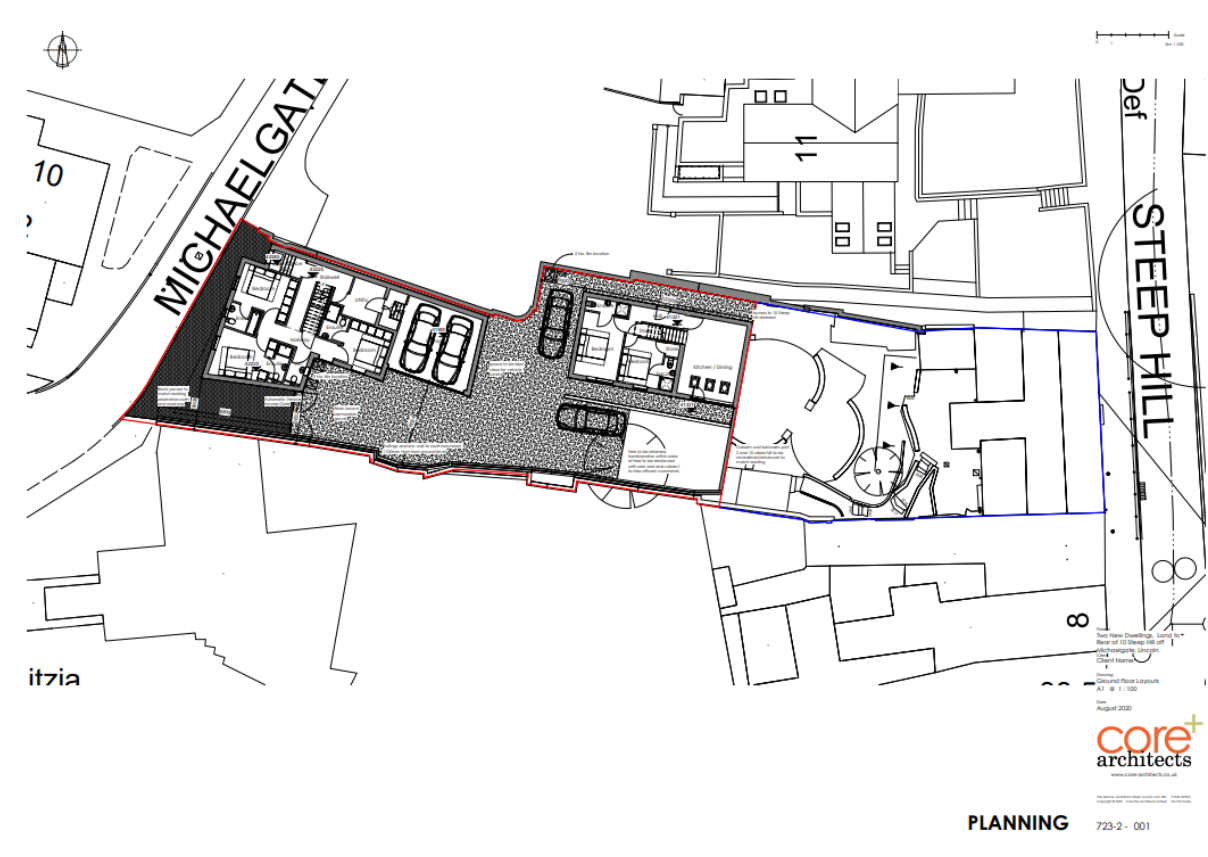
10 Steep Hill.



10 Steep Hill.



10 Steep Hill.



10 Steep Hill.



South Elevation
1 : 100

10 Steep Hill.



West Elevation
1 : 100



North Elevation
1 : 100

10 Steep Hill.

68



East Elevation

1 : 100

12 Chapel Lane Nettleham Lincoln LN2 2NX (Objects)

Comment submitted date: Tue 23 Mar 2021

The design, materials and positioning of this unsympathetic build are out of keeping within its historic setting and as such detrimental to Lincoln's heritage. Being an area of great significance, it is paramount to maintain the famous views of Lincoln Cathedral and much loved scenes for current and future generations. The proposed development is completely out of character and will detract from this magnificent landmark which views should be preserved and the conservation of this area upheld appropriately.

Hungate Lincoln LN1 1ET (Neutral)

Comment submitted date: Tue 16 Mar 2021

is the larger of the two proposals to be constructed from shipping containers? - i saw a similar development on grand designs some years ago, that looked bloody awful as well!

11 Cordage Court Lincoln Lincolnshire LN1 1EN (Objects)

Comment submitted date: Mon 15 Mar 2021

I would support a development on this site if it were to 'enhance and preserve the area'.

The planned house on Michael Gate clearly does not do this. An ugly square block.

2 Hawthorn Corner Aubourn Lincoln LN5 9FF (Objects)

Comment submitted date: Mon 15 Mar 2021

As someone with an interest in preserving historic Lincoln, I cannot support this application. Notwithstanding the present condition of the site, I frequently visit Bailgate and the Cathedral area and deliberately use the Michaelgate approach for the fine view of the Cathedral it affords - which will be seriously affected - and the sense of history it provides. Variety of style and building materials can add interest and character but in my view this proposal would be totally out of keeping with its surroundings, not least in terms of size, and detract from the historic Lincoln which visitors come to enjoy.

1 Cromwell Avenue Woodhall Spa LN10 6TH (Objects)

Comment submitted date: Fri 12 Mar 2021

Having worked in Chad Vara house for many years I know the uphill Michaelgate area and the the diverse range of buildings. I object to this proposal as follows: the design is in my opinion of insufficient contemporary merit to contribute positively to the area. The buildings are too large for the plot. Maximising financial return appears to be to the detriment of architectural design. Thoughtful contemporary architecture

should be encouraged and can enhance the diversity of this important part of the city. This location deserves better.

38 Saxon Street Lincolnshire Lincoln LN1 3HQ (Objects)

Comment submitted date: Thu 11 Mar 2021

The lower Michaelgate/upper Hungate area offers a unique view of Lincoln Cathedral which draws locals and tourists alike up the cobbles to the historic heart of Lincoln.

It's an area which receives annual attention during the cycle race, when spectators and photographers gather at this challenging stretch of the course, where it does a grand job of promoting Lincoln as a beautiful, historic cathedral city.

The proposed development will obscure this magnificent view, and change the character of the area.

The architecture does not blend well with the streetscape and positioned directly next to controversial Strelitzia house, it makes an extremely strong statement which feels entirely inappropriate in the approach to the Cathedral/Castle.

I previously lived in the area and enjoyed this view from my own home. My old house will lose it's view, as will many of my old neighbours, if the development goes ahead.

During my time in the area, I saw many canny tourists using this route to avoid the sharper incline on Steep Hill, whilst still feeling connected to the history of the area. It's equally popular with locals for those reasons. All these people - and every driver who catches a welcome glimpse of the Cathedral as they swing up Hungate to Spring Hill - will miss this view if it is allowed to be eclipsed.

This view is clearly valuable to locals and to tourism, and every effort should be made to preserve it.

65 Manton Road Lincoln Lincolnshire LN2 2JL (Objects)

Comment submitted date: Wed 10 Mar 2021

The building does not use vernacular materials.

The roof line does not blend in with neighbouring properties.

The building would obscure the view of the cathedral for people ascending Michaelgate.

18 Cordage Court Lincoln LN1 1EN (Objects)

Comment submitted date: Tue 09 Mar 2021

This proposal in its current form will blight the visual effect of what is one of the most attractive conservation areas in our City.

I have no objection to most modern architecture, the adjacent, recently built property sits very comfortably upon the land.

This proposal however, is far too close to the footpath, has no merit and clearly no consideration has been made on how it will fit in with the surrounding properties or the conservation area. I urge the planning committee to reject the application.

17 Cordage Court Lincoln Lincolnshire LN1 1EN (Objects)

Comment submitted date: Mon 08 Mar 2021

Let's be clear the existing site owners have done nothing to improve the visual impact of their site/garages and now seek to make as much money as possible from the land. The design brief given to the architects here is clearly to maximise the site revenue by squeezing two properties on to a plot which is only suitable for one at best. As the land owners have displayed with their neglect of the garages/site they are not interested in the aesthetic impact they have on Michaelgate and this planning application is purely in the pursuit of profit.

Michaelgate, like Steep Hill and the Bailgate area has a Dickensian feel with cobbled streets and vintage street lighting, it is an area to be conserved, treasured and nurtured carefully. Michaelgate is a road of two halves, the top half being narrow and the lower half being open and wide with views of the south common in the distance. The rear of 11 Steep Hill has not been developed, the existing garages at the rear of 10 Steep Hill are set back from the pavement, nextdoor Strelitzia is set back from the pavement with a large driveway. Allowing a contemporary house to be built up to the pavement will be completely out of keeping with the existing street scene. To make matters worse the proposed building plot is located on the bend in Michaelgate making the proposed front building very prominent and visible from both the top and bottom of Michaelgate. In addition the proposed development would partially obscure the view, when walking up Michaelgate, of the cathedral central tower for both locals and visitors to our historic city - all in pursuit of personal profit by the land owner.

The proposal really changes the face of Michaelgate which is a travesty. It is another sad day for Lincoln that planning permission should be sought for such a building that does nothing to preserve character. The people of Lincoln deserve better than this. I strongly urge the planning committee to reject this planning application and ask the applicant to resubmit with a more aesthetically pleasing and sensitive design of a single property set back to the existing garage line and one that reflects the local character and sits in harmony with its surroundings. We need more housing, but not at any cost, especially in our historic centre.

9 Daisy Road Witham At Hughs Lincoln LN6 9ZH (Supports)

Comment submitted date: Fri 12 Feb 2021

I am not a property expert, but I view this application as a positive move for the area and support it.

At present (and for several years) the proposed site appears to be an abandoned wasteland, within an important part of the city. It has attracted fly-tipping and other antisocial behaviours, which must have affected the local resident and people using Michaelgate in a number of negative ways. When walking up Michaelgate, you never quite know what you will encounter on that site. If was fenced off at one stage, which may have made things better for the owners, but did nothing for the image of the street

As far as I can see, the smaller of the two proposed builds, looks well-proportioned and appropriately distanced from the main property on Steep Hill. The contemporary appearance of the second property may challenge some people's views, but it would sit well alongside an existing modern built below it. I think this design is a confident expression of architecture and a valid alternative to the pastiche design that has been used on many houses lower down Michaelgate (a style, I think is equally as valid). I believe it is a real positive for Lincoln that much of the land and property down the lower part of Michaelgate, Spring Hill and Hungate has been used in recent decades to facilitate good quality city centre living.

Once complete I think this proposal will add to that and improve Michaelgate; making the journey up to the historic Bailgate more certain and enjoyable.

266 High Street Lincoln Lincolnshire LN2 1HW (Supports)

Comment submitted date: Fri 12 Feb 2021

I use Michaelgate on a regular basis as I move around the city and am very familiar with this site. It's derelict and neglected appearance is clearly a blot on the Michaelgate landscape, that is detrimental to the city's image and must surely be a source of constant frustration and concern to the local residents.

I support the applicants for taking on the task of turning this 'wasteground' into something useful and positive.

Regards
Michael Bolton

2 Western Street Barnsley South Yorkshire S70 2BP (Supports)

Comment submitted date: Thu 11 Feb 2021

Having studied this planning application and accompanying Design and Access Statement, in my opinion, not one of the 3 existing properties in the photograph looking up the street towards the Cathedral, in terms of style or construction, compliment it but then that would be a impossibility due to its age and period of construction and availability of like for like materials.

With its box like forms laying horizontally the proposed property does have more abstract qualities in common with the box like Cathedral towers standing vertically than any of the pitched roof properties nearby.

The 3 existing properties vary from each other significantly in colour, texture, style and materials and a fourth property would only add to that particular dynamic and enhance it infact in many ways its a mellow and less grandiose offer than the two properties either side of it. The proposed property is thus in keeping with a progressive and modern design development trend this area already has established and as such I would support this planning application as its of the times and appropriate.

12 Michaelgate Lincoln Lincolnshire LN1 3BT (Objects)

Comment submitted date: Thu 11 Feb 2021

My objection to the building of 2 houses on land adjoining 10 Steep Hill is inevitable based on the importance of ensuring that historic features and archeology are preserved, that Michaelgate remains interesting and visually attractive and that consideration has been given to whether the plans submitted offer the most appropriate use of the land concerned.

The parameters of the National Planning Policy Framework and the Central Lincolnshire Local Plan refer to protecting the views of the Cathedral, the Castle and uphill Lincoln as well as the protection and conservation of heritage assets. I consider this approach to be essential and am concerned that it is not a more significant feature of the submitted application.

Currently the view up Michaelgate, enjoyed by locals and visitors alike offers a glimpse of a variety of buildings - gable ends, medieval timbered buildings, stone walls, brick walls, interesting chimney pots etc. Even Strelizia has a distinctive, interesting shape and stands some distance from all other properties. The house proposed in this application to front onto Michaelgate is an unattractive solid box which abutts the pavement and in my view would not be an asset to the area. Construction traffic would cause considerable disruption to other traffic on Michaelgate, there would be much noise and dust for nearby properties and there is likely to be damage to the famous cobbles. Finally, it is inappropriate to build 2 houses on the land available. One house set

back from Michaelgate and with parking and outdoor garden space would be much more appropriate for this piece of land.

I sincerely hope this application will not be passed. If the planning committee decide that it is acceptable, it will be essential that there are conditions imposed to limit working hours and that any damaged cobbles, paving stones and kerb stones are replaced and restored to their original condition with appropriate materials.

32 South Park Lincoln LN5 8EP (Supports)

Comment submitted date: Thu 11 Feb 2021

I have previously used the garage and parking 'facilities' on this site. While pleased to have had their use at the time, the dreadful condition of the site always struck me as disappointing and completely at odds with the rest of Michaelgate. The dilapidated state of the garages, the retaining wall and the driveway surface is in stark contrast to the rest of the well maintained street scene. Due to it's neglected and abandoned appearance it has, over the years, regularly attracted anti-social behaviour, which must be an on-going concern to both neighbouring residents and the city council.

There is clear evidence that this site has previously been used for residential purposes. I think it is great, that at long last, someone is being brave enough to take on the responsibility of improving this important but clearly challenging site.

I am aware of the local architects and advisors the applicants have used to bring the proposal to this point. I am sure they will have engaged comprehensively with the council's own building and heritage experts on what would be deemed appropriate on this sensitive site and on the methodology of site investigation and construction. On this basis, I feel the site is now in safe hands.

There seems to be a very orchestrated effort from a neighbouring property to object to this attempt to improve the site and the overall street-scene of Michaelgate. As they recently used much of the same process being put forward on this application, to significantly extend and improve their own property (without neighbour objections) ; it is very disappointing to see an attempt to 'pull-up-the-ladder' in such a NIMBY-style way on such a positive scheme, that seeks to address an area of land that has blighted Michaelgate for many years.

When I walk up Michaelgate towards The Bailgate, I see a truly eclectic mix of property styles and ages on both sides of the road, which in their own way, reflect the moving history of the city of Lincoln, demonstrating that, even in a culturally rich city, neither architecture or housing has ever been stuck in a time-bubble.

I support this application and trust that through the professionalism of the parties involved, they will deliver a finished scheme that will improve the overall appearance and usage of this eyesore.

St Michael's Lodge Christ's Hospital Terrace Lincoln LN2 1LY (Supports)

Comment submitted date: Tue 09 Feb 2021

I shall not comment on the Eastern element of the scheme - the discreet 'coach house' - because the applicant is related to me. This comment relates only to the modernist house proposed on Michaelgate itself, to which I have no personal connection and comment upon as a neutral member of the public.

I am very familiar with this site and the plans submitted for it. I've lived in the area for nearly three decades and this site has been a disgraceful eyesore during my time living off Steep Hill and am sure the many visitors to Lincoln who have traversed Michaelgate would think the same.

Moreover, this land has often been used for unfortunate activities and it's common to find syringes and tinfoil around the buildings. If somebody is prepared to invest in improving the area by developing this land, then Lincoln's historic centre should be all the better for it.

Some of the negative public comments are suggestive that it would be better to leave this brown-field site as a tip and eyesore rather than redevelop and improve it, which is frankly perplexing. This area is crying out for improvement.

The architectural design of the house is well considered and compliments Michaelgate because it forms a transition between the controversial and outspoken 'Siritizia' house below it and the more gentle mix of 1970s and heritage architecture above it. It will act as an architectural 'anchor' therefore, to the betterment of Michaelgate. The alternative to this would be an historical forgery or 'pastiche' design and these invariably end up looking out of place despite the opposing intent. The proposed contemporary architecture is very well placed here and shouldn't be seen as controversial, but rather a natural transition and evolution.

The scale and massing is sensitive to the location and it's obvious that much thought and consideration has been given to the surrounding neighbours.

I support this positive proposal for the redevelopment of brown-field waste-land; the proposal is good for Michaelgate and good for Lincoln.

Yours,
Robert Dorrian

68 Andover Road Nottingham NG5 5FF (Objects)

Comment submitted date: Tue 09 Feb 2021

My fiancée is a health care visitor. She visits this area. The shortage of available resident and visitor car parking on Michaelgate hill is already dire. If she has to walk up the hill with all her gear when all the parking has gone she hates it

Not sure it's very fair to ask everybody to go find a Pay and display some strenuous walk away at the top or bottom of this steep hill, just so we can pretend to 'enjoy' this spectacle.

Just been told on FB that there's only 4 parking places planned for 3 big houses so where's everybody going to park? I walked this way last Autumn, the present unkempt condition, fly tipping etc I understand is the current contribution of the developer/ owner, yes?

I'm sure Lincoln can do much better than this, I don't visit Lincoln to see flattops that I can see in every other town to be honest

4 Turner Street Lincoln Lincolnshire LN1 3JL (Supports)

Comment submitted date: Mon 08 Feb 2021

In my opinion Lincoln stands as one of the most aesthetically pleasing, and architecturally vibrant cities in England. This visual appeal stems from the balanced union of opposing traits; the flat expanse and endless skies of alluvial marshland, divided by a contrasting - yet complimentary - ridgeline, the hill itself crowned by the indelible gothic narthex and vaulting towers of Lincoln Cathedral, whose soaring pinnacles intermingle freely with an ever-flowing tide of clouds.

Just as the form and skyline of Lincoln's hill compliments and enhances the natural landscape (because of, not in spite of, the inherent visual difference), so too does the modern synergise with the historic in the urban cityscape. I feel that Lincoln structurally melds old and new seamlessly, or as close to this as any city or town could realistically aspire to doing. Lincoln's medieval quarter provides a near-pristine historic heart, whilst as one moves out - in almost any direction - from the cathedral, castle and palace, innovative buildings of modern vintage appear, with increasing frequency, alongside their older brethren. In this manner, the downward slope of our hill reflects a gradual parallel in time; from the Roman and Norman heart to the pioneering 21st century university architecture, via the progressive mix of old and new in between. This may seem asinine and obvious, yet it touches upon the core of why I find Lincoln's balance of architectural styles and eras so appealing.

Having examined the proposed structures in as much detail as possible, I'm convinced that both buildings maintain the aforementioned trend. They provide understated, yet compelling, testaments to the notion of carefully thought-out modern architecture blending successfully into an historic setting.

Presently, the land in question is a ruinous waste of collapsing brick skeletons and forlornly impacted gravel; clearly complimenting neither old nor new, failing in this regard in a manner highly visible from multiple angles and aspects. I'm naturally critical of many modern developments, however one mustn't make the mistake of assessing a proposed structure in a proverbial vacuum; consideration should be given to what the proposed structure would replace, what styles its neighbouring buildings represent and whether it blends profitably with the greater urban landscape it would assume a part in.

In summary, I feel that to develop a patch of notably desolate wasteland into a couple of modern buildings (that would be very much in keeping with the style offered by the landmark modern building South of it, and by No 11's modernist extension N'E of it) would be an extremely positive move in general. When consideration is given to the subtle form and modest height of the proposed structured, the aforementioned positive conclusion is only, in my view, strengthened.

Many thanks,

Mr H F Charlton

5 Cecil Street Lincoln Lincolnshire LN1 3AT (Supports)

Comment submitted date: Sun 07 Feb 2021

Lincoln is evolving and that people are prepared to put exciting new showpiece architecture where it works best (around the edges of the historic part of Lincoln) can only push us further on. Like that smart new build on the corner of Drury Lane and Spring Hill, or The Collection or Sam Scorer Gallery, this plan will show off our desire to be innovative and creative and put this generation's stamp on our city's development.

Really like the way the larger new house frames the route up Michaelgate and invites tourists up into our bustling and innovative uphill centre, and whilst the the snug little coach house adjacent is very low key, it looks really nice too.

Who wouldn't want to live in these places? And what visitors wouldn't be impressed with the innovation here. desirable houses and good for Lincoln. At the moment, that place is a tip....literally. How could we want to keep dumping ground here instead of this improvement? really like it.

There's a Facebook Group about this plan and there's lots of strong positive comment about it . Good to see Lincoln growing, changing and getting better. Can we have more buildings like this please?

61 High Street Billingham Lincoln Lincolnshire LN4 4AU (Objects)

Comment submitted date: Sun 07 Feb 2021

VANITY PROJECT - if there's anyone out there still thinking this vanity project is a good idea from above ground - please just dig a little deeper

I am a professional building contractor, worked on this important Lincoln Heritage site only last year and respected where we were throughout. Just read the proper qualified Conservation Structural Engineer's tech. report in the attached documents. This contrived plaything of a development is gonna rip a big hole in Lincoln's treasured Scheduled Monument. Why?

I'm presuming Historic England and our Archaeology guys must step in and stop this. They generally do a great job whenever we've needed Archaeology support

20 Michaelgate Lincoln LN1 3BT (Objects)

Comment submitted date: Thu 04 Feb 2021

The proposal has failed to take into account local character and setting and does not relate to or compliment the features widely visible in the surrounding built environment.

The application gives no consideration of views of the site or its direct negative impacts from other key vantage points (other than the single view from the southern part of Michaelgate looking north), nor from neighbouring dwellings.

In addition, it is unclear how the views of Lincoln Cathedral have been considered in designing site layout, given how significantly obscured this view would become if the development is permitted.

To start with, the harm and permanent impact upon the views into and through the Conservation Area, including important open sightlines and views of Lincoln Cathedral, are perhaps best demonstrated by the applicants own photographic illustration submitted with the planning application (on drawing number 723-2-007 'View North').

The graphic superimposes the proposed development against the existing view up and along Michaelgate.

Views through the site (notably north towards the Cathedral and Listed Buildings at the north end of Michaelgate) are shown in the submission to be considerably restricted by the introduction of their proposed development, and the buildings offer little to offset this or make any positive contribution to the street scene to mitigate the lost view.

I object to the harm that the development will have on neighbourhood in terms of the impact of noise, dust and vibration in the course of any permitted construction works.

It remains unclear from the application how these matters will be appropriately managed and mitigated.

This is additionally important given the likelihood of tourists and residents using Michaelgate as a key route to the Cathedral quarter, and consideration should be given as to how deliveries and construction traffic can safely visit the site and be safely managed at all times.

Instead of an appropriately scaled development, two dwellings are squeezed into a site area that, relative to the character and plot sizes of nearby dwellings, should only have one building present at most. The result is constrained access into and within the site, and virtually no private outdoor amenity space for either home. Designated car parking areas (5) within the site are too few for 3 dwellings

aggregating a total of 13 bedrooms. A scarcity of local on-street car-parking spaces adjacent to the site would likely create nuisance parking on Michalgate and on Michaelgate Terrace.

71 Woodfield Avenue Birchwood Lincoln LN6 0LU (Objects)

Comment submitted date: Thu 28 Jan 2021

Having seen the proposed dwelling in the picture provided i had one immediate thought, how many postcards of our historical part of the city is that scene going to sell. I think you will agree its not in keeping with the surroundings which have taken hundreds of years to develop. The proposed dwelling has its place but it cannot be there, its an area of the city that tourists head for because of its history and it would be wrong for them to travel all the way there to give them the impression that we don't appreciate it ourselves. Travelodge will soon be in castle square at this rate. The area has been looked after for us lets do the same please.

39 Woodfield Avenue Lincoln LN6 0LJ (Objects)

Comment submitted date: Wed 27 Jan 2021

just seen this, how disappointing. My partner and I so enjoy our twice weekly city walks through the Cultural and Historic areas of Lincoln, it's also always a thrill to show off the city's heritage to our friends from less lucky parts of the country. The quieter Michaelgate approach into the Bailgate is a joy, catching sight of the Cathedral in any weather is always such an uplift for the soul, especially during these current troubling times.

Surely the view from the lower part of Michaelgate helps give Lincoln its identity and uniqueness, a treasured approach into the Uphill Quarter. Strelitzia is a showstopper, but it is set back from Michaelgate, intentionally I always assumed, so as not to blot out our beloved Cathedral.

'Look at Me - who, still cares about the Cathedral?' is all this building will ever shout out isn't it? What message do we really want to give to Lincoln's residents and our tourism alike - is it 'Welcome to ToyTown'?

Modern design has a role for sure, but it isn't to erase our past. I hope someone's listening out there

Strelitzia Michaelgate Lincoln Lincolnshire LN1 3BT (Supports)

Comment submitted date: Tue 26 Jan 2021

Strelitzia
Michaelgate

Lincoln

Dear Mr Manning,

I am writing to give my support to this planning application which will enhance the area.

Best regards,
David Lewis

10 Steep Hill Lincoln Lincolnshire LN2 1LT (Supports)

Comment submitted date: Sun 24 Jan 2021

The proposal is very well balanced - it provides for a non intensive and long overdue redevelopment of waste land and derelict buildings which have been left in a state of decay for decades. The proposal is in an asset to the neighbours and to the Conservation Area. Every effort has been made to restrain the scale and massing of the proposed buildings so as to not block views and light to neighbouring properties and to avoid overlooking of neighbouring dwellings. The proposed development sits very well on the hillside - it respects the vernacular and evolution of the hillside and is at once in keeping with the heritage of the locality and a welcome contemporary addition to it. It sits snug within the hillscape and subtlety adds to it without being overbearing or ungainly. It's good to see forward thinking and evolutionary architecture combined with historic sensibility on a small site.

The very minor loss of amenity to my property (10 Steep Hill; Grade 2 listed) is overcompensated for through the addition of a walled garden and provision of discreet and concealed parking beyond the walled garden. The only actual loss to 10 Steep Hill is a two metre strip of garden land: a small price to pay for the gain in amenity within the proposal. The proposal in general improves the setting and amenity of 10 Steep Hill.

The proposal, moreover, significantly improves the Conservation Area as a whole by filling in the street scene on Michaelgate and restoring historic building lines along the roadside. This is a long overdue opportunity to rectify the street scene and massively improve Michaelgate. It also helps improve the locality by preventing the land being given to alternative uses such as intensive parking (its previous use) and removing derelict and potentially dangerous buildings which have recently been the source of complaint to the LA (environmental health) and the police (derelict garages used by criminals to store goods).

It's overall impact on the adjacent Listed building (No 10) is positive in my view.

It's overall impact on the area is positive in my view and suspect this should be generally obvious to the lay person notwithstanding the Heritage Report Statement that the proposal is 'Heritage-neutral' as a whole. Whilst technically/legally 'heritage neutral', that is a professional opinion based on all sorts of technical quantification and I firmly believe that to the lay person, this proposal is of huge positive benefit to Michaelgate.

In considering this proposal from many angles and perspectives, the only negative impact this entire proposal might have is restricted to one neighbour only and then entails only some minor loss of views from the garden of the property above (to the North). However, no one is entitled to 180degree panoramic views from all parts of their property and it is clear that the submission has been made so as to limit as far as possible any such negative impact on all properties to the North where views might have been impacted upon. The only effected property immediately to the north retains panoramic views from its main garden zone and from its principle living areas. The fact that any negative impact to the neighbours has been so convincingly restrained whilst presenting a proposal that provides so many benefits to the neighbouring properties , the Conservation Area, and the hillside scene in general, is testament to how much thought has been given to this proposal which has taken eighteen months to piece together and involved intensive consultation with involved peoples and neighbours. I would say this perhaps because I have been intrinsically involved in the process, but I think this perspective is also fair and objective. The result is a very well balanced and positive proposal that will clearly improve Michaelgate and the area as a whole. This land has been derelict and actually dangerous for decades and this is an open-goal opportunity to bring it into use and improve the neighbourhood and the City.

Of course, contemporary architecture is not everyone's cup of tea and there will naturally be those who dislike further contemporary construction in this location, but townscapes need to evolve and I imagine that if constructed, it will become a much loved and appreciated land mark development on the edge of the historic Core; a kind of gateway to that core. I think it's great.

Given the very high costs of building on the hillside and in such high quality materials, it's clear that the proposal is being made by locals who intend to leave a positive mark on the historic core and it is by no means obvious that this scheme will be particularly profitable. It is not a high density 'developer' scheme, but a boutique scheme that would be built at high cost to the builders and the opportunity to develop what is currently a blot on the historic core may not come around again soon if rejected. I am an interested party of course, but I do genuinely feel that this proposal is a very good one that has been well considered and balanced and that there might later be generalised regret amongst the residence if it were not accepted and built out.

5 Michaelgate Lincoln Lincolnshire (Supports)

Comment submitted date: Sun 24 Jan 2021

The garages on the Michaelgate aspect of the proposed development have been an eyesore since I moved into Michaelgate in 1980

Therefore I am pleased to see that there will be a new residence there, it can only enhance the area.

Architecture representing centuries can be seen on Steep Hill and Michaelgate which makes the area attractive and fascinating to residents and visitors alike.

It is good to see that the 21st century is also being represented.

11 Steep Hill Lincoln LN2 1LT (Objects)

Comment submitted date: Wed 03 Feb 2021

After reading this planning application I cannot support it and wish to object for the following reasons.

This proposed new building does not sit snug within the hillscape? It is too close to the well utilised pedestrian pavement, it's position not setback to allow continued appreciation of the Cathedral views when walking up Michaelgate as a resident or tourist.

The current view afforded visitors walking up Michaelgate to the historic centre of Lincoln is the magnificent Cathedral. This view will be severely impaired and that is wrong.

The design of the building also ensures that when descending Michaelgate you will no longer have the amazing view of the city scape and green vista to the South Common. The Bomber Command Memorial is also obscured sadly. Replaced by a very ugly solid featureless brick wall. A perfect target for graffiti.

Yes, the proposed development will fill in the street scene but, as it will be squeezing in the 2 x properties on an undersized plot the developers are giving very little consideration to the other residents of Michaelgate and available amenity

The proposed development would result in three properties with approximately 10/12 bedrooms in total but with apparent parking for just 4 x vehicles. Obviously, no visitor off-street parking has been allowed for.

There is some limited on-street parking available on St Michaels Terrace, directly opposite the proposed development - this is currently fully utilised by existing residents. It cannot be assumed that it would be available for the sole use of the new development for parking - this development will without doubt increase burden on the street parking scene

I feel that this is not a sympathetic development for this area but more an opportunity for a developer to maximise profit on a relatively small parcel of land.

3 February 2021

Neighbour Consultee response ref: 2021/0002/FUL + 2021/0003/LBC

Neighbour consultation response in respect of:

**Planning Application Ref: 2021/0002/FUL and;
Listed Building Consent Application Ref: 2021/0003/LBC** pursuant to:

“Erection of 2no. detached dwellings and demolition of garages” at:

Land to the rear of 10, Steep Hill, Lincoln, LN2 1LT

Author – Mr David Butler

11, Steep Hill, Lincoln, LN2 1LT

1

Introduction

This letter sets out the basis for our firm **objections** to the proposals to erect two new detached dwellings on land to the rear of 10 Steep Hill in Lincoln, registered with Lincoln City Council under planning application reference 2021/002/FUL and Listed Building Consent reference 2021/0003/LBC.

Our objections to these applications relate to numerous material planning considerations that overwhelmingly demonstrate that planning permission for the proposed development cannot feasibly be considered and should be refused. These objections can be broken down into two distinct themes, relating to:

- i) The impact and substantial harm the development will cause to a Scheduled Ancient Monument and to a protected and unique historical setting, and;
- ii) The direct and negative impact of the proposal on local residents, in particular to the occupiers of 11 Steep Hill, Lincoln

As detailed within this consultation response, the proposals are considered to be wholly inappropriate for the site's sensitive and prominent position, with little apparent thought having been given to the appropriateness of the development or the practicalities of delivering such a scheme without significant and permanent harm to the conservation area and designated heritage assets.

1. Impact on the SAM, Conservation Area, historical environment and setting

- **Irreversible damage to the Scheduled Ancient Monument** – A very significant portion of the application site falls within the designated Scheduled Ancient Monument (SAM) of Lincoln Roman Colonia (Lindum), identified in the National Heritage List for England (NHLE) maintained by Historic England under list entry no.1003569. Whilst there are parts of the site that are not directly within the SAM designation, the full site area clearly forms a part of its setting and is a key part of the wider historic environment.

The NHLE entry confirms that this monument is scheduled under the *Ancient Monuments and Archaeological Areas Act 1979* (as amended) and is identified by the Secretary of State as being of national importance.

The Heritage Statement submitted with the application states at para 4.1.14 that “*In accordance with Paragraph 199 and Footnote 63 of the NPPF alongside Policy LP25 of the Central Lincolnshire Local Plan, intrusive groundworks across all areas of the Site will need to be preceded and/or accompanied by an appropriate scheme of archaeological fieldwork as agreed with the local planning authority and Historic England where relevant*”.

It is of serious concern that this matter has not been meticulously and professionally investigated prior to submission as part of the preparation of the planning application, so as to provide firm assurances to neighbours and consultees that the development will not irreversibly impact upon the integrity of the SAM, particularly given the 'Direct Impacts' listed at para. 3.2 of the statement, which refer specifically to the risk of 'direct adverse impact' on below ground archaeological remains.

Whilst the building is designed with a proposed 'raft' foundation, it is nonetheless very clear that this is a measure proposed only to help mitigate damage and harm, rather than to wholly address it. The potential for harm to the SAM and archaeological remains is therefore high.

Where this is the case, LP25 requires developers to "undertake field evaluation in advance of determination of the application". It is apparent that this work has not been undertaken.

This is further supported under para 189 of the NPPF, which states that "*Where a site on which development is proposed includes, or has the potential to include, heritage assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation*".

A detailed field examination would be appropriate in this case, and until such evidence is available the application appears to be in conflict with the requirements of both the CLLP and the NPPF, as well as lacking in important information necessary to appropriately appraise the impact of the development on the SAM.

The statement continues (at para. 4.1.16) to relate the proposed development to wording contained in paragraph 196 of the National Planning Policy Framework (NPPF) and attempts to show compliance with policy LP25 (The Historic Environment) of the Central Lincolnshire Local Plan, with a reference to the "minor degrees of harm brought about by the site's development".

It is considered that given the national importance of the SAM, and the direct impact outlined in the statement that is likely, that the proposal would *significantly* exceed 'minor degrees of harm'. This rather dismissive summary of the proposal in the statement does not give appropriate weight to the fact that the site is of national significance.

Furthermore, it is unclear how the development of such an important historical site could ever reasonably be outweighed by the delivery of two open market homes, as claimed within the statement and DAS – homes that could feasibly be built almost anywhere else in the City and in a far less sensitive location.

- **Permanent changes and harm to the Conservation Area and historic Environment:** The site is located within the defined 'Conservation Area Number 1 – Lincoln Cathedral and

City Centre' and forms a part of the setting of numerous listed buildings. These constraints result in a number of additional heritage considerations that the planning applications are in clear conflict with.

LP25 states that, with regards Conservation Areas, *"Development within, affecting the setting of, or affecting views into or out of, a Conservation Area should preserve (and enhance or reinforce it, as appropriate) features that contribute positively to the area's character, appearance and setting"*.

The policy continues to detail a number of criteria that proposals must comply with, most of which cannot be demonstrated by this proposed development.

To start with, the harm and permanent impact upon the views into and through the Conservation Area, including important open sightlines and views of Lincoln Cathedral, are perhaps best demonstrated by the applicants own photographic illustration submitted with the planning application (on drawing number 723-2-007 'View North').

The graphic superimposes the proposed development against the existing view up and along Michaelgate.

The illustration clearly shows severity of change to the existing vista and how the introduction of the modern and challenging building designs are totally at odds with the historic setting.

Views through the site (notably north towards the Cathedral and Listed Buildings at the north end of Michaelgate) are shown in the applicant's submission to be considerably restricted by the introduction of their proposed development, and the buildings offer little to offset this or make any positive contribution to the street scene to mitigate the lost view – certainly not akin to preserving or enhancing the site's appearance.

As such, the fundamental requirements of LP25 with regards avoiding harm to Conservation Areas are conflicted.

In addition to the impact on local character, criteria (j),(k),(m) and (n) of LP25 cannot be met, by virtue of the change of building lines that the development would introduce, the potential loss of archaeological features, the introduction of both overdeveloped and inappropriately scaled buildings and the permanent change to an historic skyline.

As an historical part of the City, the application site is surrounded by, and considered to be within the setting of, many listed buildings, notably 9, 10 (the host dwelling), 11a, 12, 13, 14, 16 Steep Hill, and 40-42 Michaelgate (the latter being in direct line of sight when viewed from the southern end of Michaelgate).

LP25 states that *"Permission that results in substantial harm to or loss of a Listed Building will only be granted in exceptional or, for grade I and II* Listed Buildings, wholly exceptional circumstances. Development proposals that affect the setting of a Listed Building will be supported where they preserve or better reveal the significance of the Listed Building"*.

The introduction of modern and incongruous design proposed by this development would result in harm to the setting of these listed buildings (substantially to 10, Steep Hill, the donor Listed Building for this proposed development) and have a permanent impact upon the future enjoyment of them, and the wider historical setting that they are located within.

Furthermore, no exceptional circumstances are presented that would outweigh the harm caused by the development. The developers desire to build 2 new properties would clearly benefit them, but this cannot be considered an 'exceptional circumstance' under any interpretation of the policy.

Paragraph 193 of the NPPF states that *"When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be)"*.

Para 195 continues *"Where a proposed development will lead to substantial harm to (or total loss of significance of) a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or total loss is necessary to achieve substantial public benefits that outweigh that harm or loss"*.

Policy LP29 (Protecting Lincoln's Setting and Character) adds further policy considerations that have not been met by this proposal. The policy states a number of criteria that are relevant to this proposal as detailed below, which state that development should:

- a. Protect the dominance and approach views of Lincoln Cathedral, Lincoln Castle and uphill Lincoln on the skyline;*
- c. Proposals within, adjoining or affecting the setting of the 11 Conservation Areas and 3 historic parks and gardens within the built-up area of Lincoln, should preserve and enhance their special character, setting, appearance and respecting their special historic and architectural context;*
- d. Protect, conserve and, where appropriate, enhance heritage assets, key landmarks and their settings and their contribution to local distinctiveness and sense of place, including through sensitive development and environmental improvements;*
- e. Seek to improve the public realm as part of development proposals to enhance Lincoln's attractiveness;*

This proposal conflicts with the requirements of both the NPPF and LP29 in failing to protect views of the Cathedral, harming the special character of a conservation area, having a demonstrably negative and harmful impact on important heritage assets and harming the attractiveness of part of Lincoln's historic core.

Given the national importance of the SAM, the historical setting and views of the Cathedral, these matters must attract significant weight in considering the planning applications. Again, these considerations cannot feasibly be offset by the benefit of delivering just two new open market properties.

The level of direct harm and potential harm to the SAM, Conservation Area, Listed Buildings and the wider historic environment is severe, and refusal of permission is therefore clearly justified.

- **Proximity to the SAM, retaining wall and boundaries** - The proposals would locate development to within 1-1.5m of the recently discovered medieval wall and directly adjacent to the recent installed (2019) gabion wall (following serious and sudden collapse (Dec 2017) of same adjoining section of former stone built wall). The gabion wall was designed sympathetically to the SAM solely to support the wall and prevent further deterioration of the SAM both below and retained above on neighbouring (raised) land at number 11.

The structure is strictly not designed to facilitate development adjacent to it, and risks being severely undermined by the proposed works.

This matter is subject to separate consideration, submitted with this objection, to demonstrate how the applicants proposed approach is flawed, potentially dangerous and could result in substantial harm to both the structural integrity of the area and to the designated heritage assets. Please see additional information enclosed and attached from CARE accredited Structural Engineer - Alan Wood & Partners, the Commissioned specialist Conservation Engineer, Jenny Bulmer.

- **Damage caused from the applicant's preliminary site investigations** – Finally, I would like to draw your attention to the potential harm that may have already been caused to the heritage assets or any below ground archaeology through the applicant's preliminary site investigations and query whether these have been appropriately authorised? The resultant investigations appear to have accelerated damage to the wall and should be considered further. There is also evidence of recent and continued site clearance tipping on the SAM potential to cause further erosion of retaining wall is large – it is assumed that import of building debris and general waste for tipping purposes from other sites has also been appropriately authorised.

2. Impact on local residents and direct harm to the amenity of 11 Steep Hill

- **LP17 (Landscape, Townscape and Views)** – It is considered that there are numerous policy conflicts with the requirements of policy LP17 arising from the proposed development.

The proposal has failed to properly take into account local character and setting (detailed above in an historical environment context) and does not address, relate to or compliment the features widely visible in the surrounding built environment.

The policy emphasises that *"All development proposals should take account of views in to, out of and within development areas: schemes should be designed (through*

considerate development, layout and design) to preserve or enhance key local views and vistas, and create new public views where possible. Particular consideration should be given to views of significant buildings and views within landscapes which are more sensitive to change due to their open, exposed nature and extensive intervisibility from various viewpoints”.

The application gives no consideration of views of the site or its direct negative impacts from other key vantage points (other than the single view from the southern part of Michaelgate looking north), nor from neighbouring dwellings.

In addition, it is unclear how the policy requirement to maintain and protect views of Lincoln Cathedral have been considered in designing site layout, given how significantly obscured this view would become if the development is permitted.

Lincoln's historic skyline is specifically referenced in LP17, which states that *“The considerations set out in this policy are particularly important when determining proposals which have the potential to impact upon... upon Lincoln's historic skyline”.*

Whilst ridge heights of the dwellings have been considered by the applicants to minimise impact, the scale and massing of the two proposed buildings still totally undermines any attempts to adhere to the very clear requirements outlined under policy LP17.

Further supporting this, policy LP26 (Design and Amenity) requires proposals to (part i) *“Protect any important local views into, out of or through the site”.* The application therefore fails to meet this further policy requirement too.

- A number of direct impacts on neighbouring properties and residents have been identified and these are described below in the context of the likely impact of the development on the residents at 11 Steep Hill, which will see its privacy, amenity and enjoyment affected considerably by these proposals.

The majority of the matters identified demonstrate that the development does not adhere to the broad requirements of CLLP Policy LP26 (Design and Amenity), and therefore several further policy conflicts can be identified.

- **Design Principles** – LP26 states that *“All development proposals must take into consideration the character and local distinctiveness of the area (and enhance or reinforce it, as appropriate) and create a sense of place”.*

In proposing a design that is described in the application as being likely to be the 'subject of some subjectivity' it is apparent that, rather than respond to the wider context of the historical setting, there has been a purposeful design created that would stand out and provoke comments, instead of a development that could sympathetically blend into the historic fabric and truly unique character of the site's setting.

Given the overwhelmingly important heritage value the site holds, this approach is quite staggering. Instead of an appropriately scaled development, two dwellings are squeezed into a site area that, relative to the character and plot sizes of nearby dwellings, should only have one building present at most. The result is constrained access into and within the site, and virtually no private outdoor amenity space for either home. Designated car parking areas (4-5) within the site are too few for 3 dwellings aggregating a total of 12-13 bedrooms. A scarcity of local on-street car-parking amenity adjacent the site would create extra burden and potential nuisance parking by increased visitor numbers.

- **Amenity considerations** – the second part of LP26 requires applicants to demonstrate how amenity considerations have been taken into account.

In lieu of a Construction Management Plan (or similar) being submitted with the application, very little consideration is given to the likely impact of the development on neighbouring properties. This gives rise to the following concerns, and thus potential conflicts with LP26:-

Risk of structural damage or collapse, and risk to neighbouring land and property – Whilst the application includes a proposal for stabilising the retaining wall, as detailed earlier in this report, this basic plan is considered to be fundamentally flawed and reliant on an existing gabion support that was not designed to accommodate the additional stresses caused by development of the site or the vibration caused by construction machinery.

Additionally, it is not clear whether the structural integrity of the site has been properly assessed by a suitably qualified surveyor to confirm absolutely that *any* development of the application site can safely be achieved without 1) undermining the integrity of the retaining wall, and; 2) a risk to the integrity of ground stability to the rear of 11 Steep Hill, which occupies an elevated position.

At present it is considered that this presents a serious and realistic risk to both the development site and to 11 Steep Hill if the development is allowed to proceed, in particular its rear private garden area and main vehicular access. Undermining the structural integrity of the site and wall would also have direct implications on the archaeological remains and SAM, as detailed earlier in this response.

Neighbour Impact - Whilst it is recognised that residential use is compatible with the surrounding area and would not itself result in harm, subject to a more appropriately designed and lower density development, we nonetheless object to the harm that the development will have on neighbours in terms of the impact of noise, dust and vibration in the course of any permitted construction works.

It remains unclear from the application how these matters will be appropriately managed and mitigated.

This is additionally important given the likelihood of tourists and residents using Michaelgate as a key route to the Cathedral quarter, and careful consideration should be given as to how deliveries and construction traffic can safely visit the site and be safely managed at all times. Currently, these matters are not thoroughly addressed in the application, as required by policy LP26 of the CLLP.

Policy LP26 states that *"The amenities which all existing and future occupants of neighbouring land and buildings may reasonably expect to enjoy must not be unduly harmed by or as a result of development"*.

As presented, it is considered that the application is in conflict with these policy requirements in terms of the negative impact on the privacy and amenity of 11 Steep Hill, in particular the enjoyment of the property's private rear gardens and open outlook.

In conclusion, it is considered that the applications, if approved, would result in significant harm to the local area and potentially irreversible damage to a monument of national significance. The impact of the development on the character of the area would be substantial, and its impact on neighbouring properties severe.

The relatively insignificant planning gains that would be achieved through the delivery of two private dwellings would not benefit the wider area, or Lincoln as a whole, and cannot be considered to outweigh the demonstrable policy conflicts and harm the development would result in.

For these reasons the applications clearly cannot gain planning approval. I look forward to discussing this more fully with the Planning Officer on site at 11, Steep Hill when convenient. This must be important, so we may learn more fully the implications on the SAM following appraisal of attached Technical report completed by CARE Structural Engineer, Jenny Bulmer BEng(Hons), CEng MStructE CARE

Finally, apologies for the lateness in my Consultee response, also I admit, this an unusual lengthy tome for a neighbour response, apologies once more. I have been in regular communication with the Lincoln City Planning Department regarding this unfortunate but necessary delay, hoping to keep all stakeholders informed. Two weeks is just such a very short time to prepare a researched response to this application. From the outset it was clear that the Northern retaining wall on the site had not been researched; simply because the applicants, throughout the entire process, have failed to enter into dialogue with myself or parties interested in the property, 11, Steep Hill, and its occupiers. I find this extraordinary, frustrating, and a source of bafflement.

The professional guidance and written reports of a suitably qualified (and very familiar with site) CARE Structural Engineer has been invaluable. Also of great support in this consultation response - professional advice from Qualified Party Wall Surveyors familiar with Conservation. Only with this knowledge, having confirmed the irrelevance of the application's suggestion to employ a wall anchor solution for this specific Party Fence

Author – Mr David Butler

11, Steep Hill, Lincoln, LN2 1LT

9

3 February 2021

Neighbour Consultee response ref: 2021/0002/FUL + 2021/0003/LBC

Wall, could I effectively confirm the 'rail-roading' over 11, Steep Hill's Rights in Law. There will, if this application is approved as currently written, be unavoidable but wholly unnecessary large disturbances to one of Lincoln's finest landmark Heritage sites

Thank you for your continued interest in this matter

Sincerely

David Butler

11, Steep Hill, Lincoln,

LN2 1LT

- to be read in conjunction

Technical Note on Proposed Development at 10 Steep Hill, Lincoln

Project Number: - 45038/JMB/TN001

Jenny Bulmer BEng(Hons), CEng MStructE CARE

Photograph – Recent wall section collapse, highlighting vulnerability of walls, also loose and undefinable historic made ground

Photograph – Anglian Water Authority Asset – deep public sewer serving various shops and dwellings on Steep Hill, including 11, Steep Hill, exiting downhill Michaelgate.

Photograph – Medieval wall find adjacent to and within 1,5m proposed raft foundation for new dwelling (minimum 750mm excavation)

Photographs – various, applicant exploratory digs on SAM - presumed Scheduled Monument Consent applied for and granted – displaying minimal foundation

Photographs – various, apparent fly tipping on SAM – presumed Scheduled Monument Consent applied for and granted

Issuing Office

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Hayland Street
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Telephone: 01142 440077

Email: eng@alanwood.co.uk

Website: www.alanwood.co.uk

TECHNICAL NOTE

Proposed Development at 10 Steep Hill

Prepared by: Jenny Bulmer
Associate
BEng(Hons), CEng MStructE, CARE

Approved by: James Shores
Director
BEng(Hons), CEng MStructE

Date: 28.01.2021

1.0 INTRODUCTION

Planning and Listed Building Consent has been submitted for works to the rear of Number 10 Steep Hill, Lincoln, Lincolnshire, LN2 1LT, the full details of which can be obtained on the planning portal under the reference 2021/0002/FUL and 0201/0003/LBC. The works relate to the demolition of two existing garages and the erection of two dwellings.

The site is positioned on a Scheduled Ancient Monument (SAM) and the boundary walls to Number 10 are Grade II Listed by virtue of the Listing upon Number 10 itself.

Alan Wood and Partners were involved in works on the boundary of Numbers 10 and 11 Steep Hill to carry out stabilisation and rebuilding works following the collapse of a section of the boundary retaining wall. The initial visits design works and consents were obtained in 2018 with the work being completed in 2019.

The new proposal involve the demolition of garages which provide buttressing support to the un-remediated sections of wall supporting the land at Number 11 as well as construction of new buildings adjacent to this and the new gabion section of retaining wall.

Mr Butler of Number 11 has concerns relating to the planned works and has requested the professional opinion of Alan Wood and Partners as both the designers of the retaining wall and from the point of view of an accredited Conservation professional.

The following technical note covers the concerns that have been identified based upon the proposed submission and our knowledge of the retaining walls.

2.0 CONSTRUCTION ADJACENT TO NEW GABION WALL AND STABILISED BRICK WALL

The proposals are to construct a new dwelling in close proximity to the 2019 gabion wall and the section of wall stabilised in 2019 with ground anchors.

The works to form the gabion wall were done with very shallow foundations in order to minimise the impact upon and disturbance to the SAM. The formation excavated for the wall was not natural material as would usually be the case but the historic made ground associate with the SAM. This makes the ground more inconsistent and unpredictable than would usually be the case.

The proposed new build is to be constructed in close proximity and the foundation being proposed to it is a 600mm deep raft. This 600mm depth refers to the depth of concrete. It is usual practice to form a raft upon a stone blanket of a typical minimum depth of 150mm. As such the proposed foundation will be a minimum 750mm deep.

As the toe of the new raft foundation will protrude beyond the wall face of the proposed new building and the toe of the gabion wall also protrudes beyond the face of the gabion wall the actual distance between foundations will be less than the plan distance between structures. It will be essential to ensure that the new foundation is positioned sufficiently far from the gabion wall to not risk undermining it. Any undermining could induce a slip circle failure similar to the one which caused the original wall to collapse.

The stabilised historic brick wall has even more minimal foundations and any excavation in proximity to this should be carried out with extreme care and careful consideration.

3.0 REMOVAL OF BUTRESSING GARAGES AND STABILISATION OF REMAINING WALLS

The garages which are proposed for demolition currently act as retention to an area of land which forms the rear driveway access and part of the gardens to No. 11 Steep Hill. There are a number of concerns associated with the proposals in terms of suitability and achievability.

The proposal for stabilisation is that the walls be fixed back utilising ground anchors similar to the system employed on the stabilised section of wall.

- Ground anchors rely on the wall which is being anchored through to act as a stiff diaphragm – the walls in this instance are in an extremely poor condition and could not be expected to perform this function. See photos of existing wall condition.



Images 1 & 2 - condition of existing wall

- The ground anchor design employed on the section of stabilised wall relied upon test data obtained by sinking test anchors into the ground on the retained side and establishing their pull out capacity. While it may seem that over such a small distance that the same test data could be assumed for the next section of wall, the nature of the ground conditions mean that this is not the case. The existing ground, as observed following the collapse of the previous wall, is made ground with little to no homogeneity: see Image 3.
- The only way to obtain the required test data would be to carry out further testing on the land to be retained e.g. Number 11, which Mr Butler does not consent to.



Image 3 - retained ground conditions

- The area of retained land beyond the party wall includes an Anglian Water Asset which would be at risk of harm by the introduction of the ground anchors in this location. Due to the length of anchor required this would breach the Easement in place on the Anglian Water Asset.

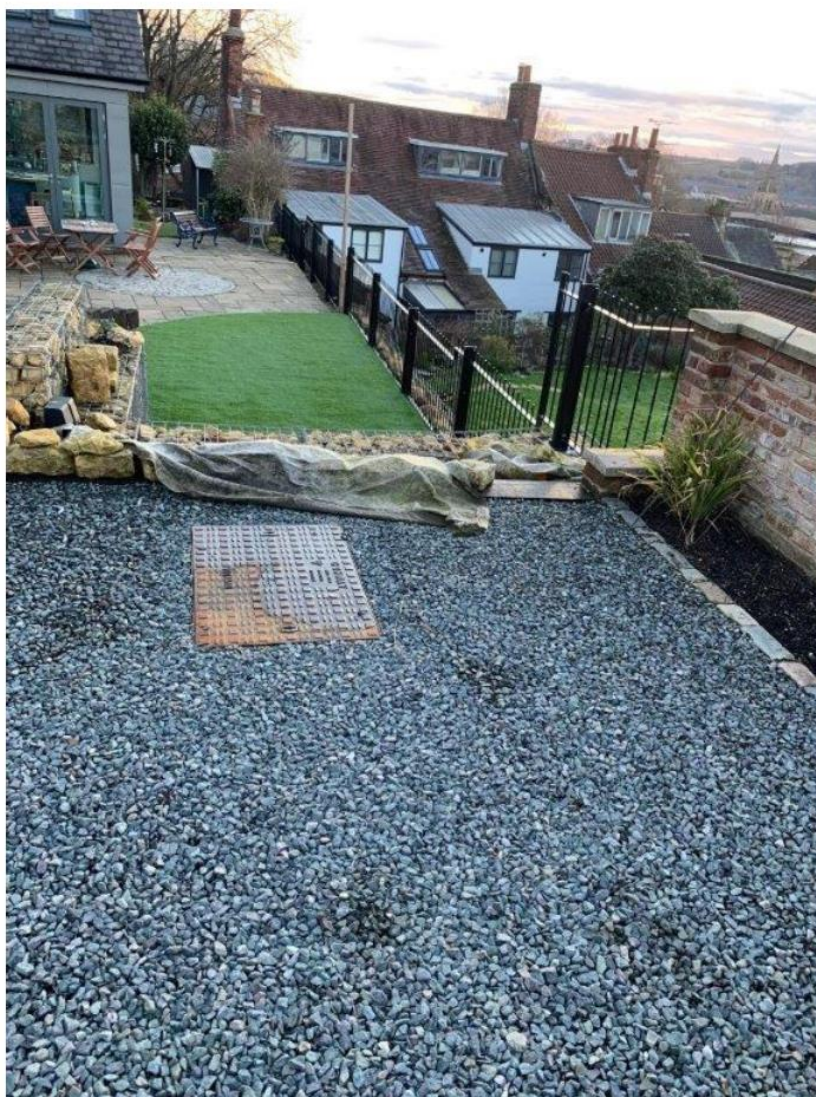


Image 4 – Anglian Water asset within retained land

- Alternative options to the ground anchors are technically difficult, the retained ground is part of the Scheduled Ancient Monument – the Archaeological work carried out as part of the 2018 wall collapse and rebuild found a segment of previously unrecorded medieval wall along with other items of interest. Traditional retaining wall construction techniques would involve battering back the retained ground to a safe angle of repose. In this case this is not an option for the following reasons – the ground to be battered back is in the ownership of another party, the process of battering back would constitute harm to the SAM and the process of battering back

would create an incursion into the Anglian Water easement. Other options for support include driven sheet piles, which would again cause harm to the SAM and would have to be driven within land owned by others. King post retaining wall solutions have the same technical issues as a sheet pile wall.



Image 5 - Medieval Wall discovered behind retaining wall

4.0 CONCLUSIONS

It is clear that at this stage the application does not adequately demonstrate that there is a satisfactory and workable solution to the demolition of the garages and safe retention of the ground belonging to Number 11 Steep Hill. The solution submitted for consideration is not technically viable and relies upon cooperation from the party wall neighbour which has not been sought and would not be obtained.

Anglian Water Authority Asset – shared public sewer - exiting via drop to Michaelgate



2017 – Sudden wall collapse – please review technical report for further information



2019 Medieval wall find – adjacent 1.5 metre distant proposed 750mm raft excavation



2018-2020

Fly tipping within SAM and adjacent walls



June 2020 – Various exploratory digs within SAM – also location map



Neighbour consultation response in respect of
Applicants' updated (26/07/21) Structural report and Design and Access Statement:

Planning Application Ref: 2021/0002/FUL and;
Listed Building Consent Application Ref: 2021/0003/LBC pursuant to:

"Erection of 2no. detached dwellings and demolition of garages"
at: Land to the rear of 10, Steep Hill, Lincoln, LN2 1LT

Introduction

The application now includes an updated (26/07) Structural Report with specific regard to both the Northern and Southern retaining walls on this compact site. Also, a revised Design and Access Statement.

As a shared owner of the Northern wall (retaining designated Scheduled Monument, our garden area, and singular driveway access onto Michaelgate from No. 11) this required additional research is very welcomed. I believe the report helps establish required structural methodology to protect the Northern retaining wall and hence the integrity of Scheduled Ancient Monument (SAM) during any proposed construction work for the contemporary dwelling on the West, Michaelgate side of site. It should be noted however from our own 2017 experience of a sudden failure and total collapse of a section of this same wall (see images appended) any SAM Excavations to underpin the Northern retaining wall will be considerably larger along the entire length than the 300mm wide x 400mm deep suggested within the Design and Access Statement (Core26/07 -page 11)

There is now I believe the beginnings of a truer understanding regarding the extent of disturbance to this ancient wall and designated Heritage Asset that this development proposes. The extensive intrusion to underground archaeology is now clearer and evident.

Concerns

I have concern that no information is included within the revised reporting with regard sections of the old wall adjacent planned excavations for the proposed in-fill dwelling to the East of the proposed scheme. This is a section of retaining wall that is wholly within the designated Scheduled Ancient Monument (SAM) of Lincoln Roman Colonia (Lindum), identified in the National Heritage List for England (NHLE) maintained by Historic England under list entry no.1003569. – appended location map

There has been no comment regarding the supportive role that the outbuildings requested for demolition have upon the Eastern sections of wall. As evidenced by the prior sudden collapse and failure of same wall (2017) the buttressing support currently provided by these outbuildings must be considered prior demolition by the developer – also any remediation strategy fully researched prior continuation any larger scale excavation into SAM for the proposed 2-bedroomed private dwelling.

National Planning Policy Framework (NPPF) July 2021 (Para 194)

'... Where a site on which development is proposed includes, or has the potential to include, heritage assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation.'

Also, recently confirmed by Historic England, Scheduled Monument partial consent, dated 09/04/2021 (published- Application documents tab) – extract below

'In the light of concerns relating to the party retaining wall, retained ground and services lying to the north of the application area and for the better holistic understanding of archaeological significance and impacts it is considered appropriate at this time to only issue a partial consent covering exploratory archaeological and engineering works'

As I understand the preceding authoritative statements strongly infer that the applicants should undertake a comprehensive written scheme of investigation to ascertain the full implications of both proposed new private dwellings affecting the Scheduled Monument and buried archaeology.

NPPF (Para 195)

'Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this into account when considering the impact of a proposal on a heritage asset, to avoid or minimise any conflict between the heritage asset's conservation and any aspect of the proposal.'

It is clearly evident that the limited investigation undertaken to date has not fully disclosed the true extent of intrusion into our Scheduled Monument, the likely wholesale disturbance of buried archaeological remains of potential National Importance. To fully disclose the invasive and destructive works necessary within the SAM to build out this development this research becomes fundamental. This research should include all sections of wall that may affect the Scheduled Monument. The preservation and conservation of our treasured and irreplaceable Scheduled Ancient Monument is a Planning consideration that should have great weight for Planning decision makers. Until such information is available to Planning Committee decision makers, they may be minded to refuse consent for development within the SAM.

NPPF (para 199 extract)

'When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance'

NPPF (para 201 extract)

'Where a proposed development will lead to substantial harm to (or total loss of significance of) a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or total loss is necessary to achieve substantial public benefits that outweigh that harm or loss ... '

The application's updated Design and Access Statement (Corearchitects-26/07) concluding comment as below

'evidence shows the existing part demolished existing garages give no structural support to the wall'

is inconsistent with 'on the ground' factual evidence for large sections of the wall and is very likely to mislead the reader (appended images)

I understand that the DAS comment is borrowed from the updated structural report (Carr- 26/07), however it is questionable whether relevant sections of the wall within the SAM (specifically behind Easternmost garages) have been suitably considered within this revised reporting. Further, such statement cannot be substantiated through inconsistent trial hole excavations (TH3 - page 11 - haphazard mispositioned by 5+ metres)

It is not coincidence that the 2017 wall collapse terminated at the adjacent garages. Supportive outbuilding constructions have been located at this position for at least 110yrs - see appended SHATS OS Maps 1907 & 1966.

Moreover, the statement contradicts the Conservation accredited Structural Engineer, Jenny Bulmer BEng(Hons), CEng MIStructE, **CARE** report (see application documents) - Jenny Bulmer is familiar with site having visited on numerous occasions

Addendum

Photographic evidence

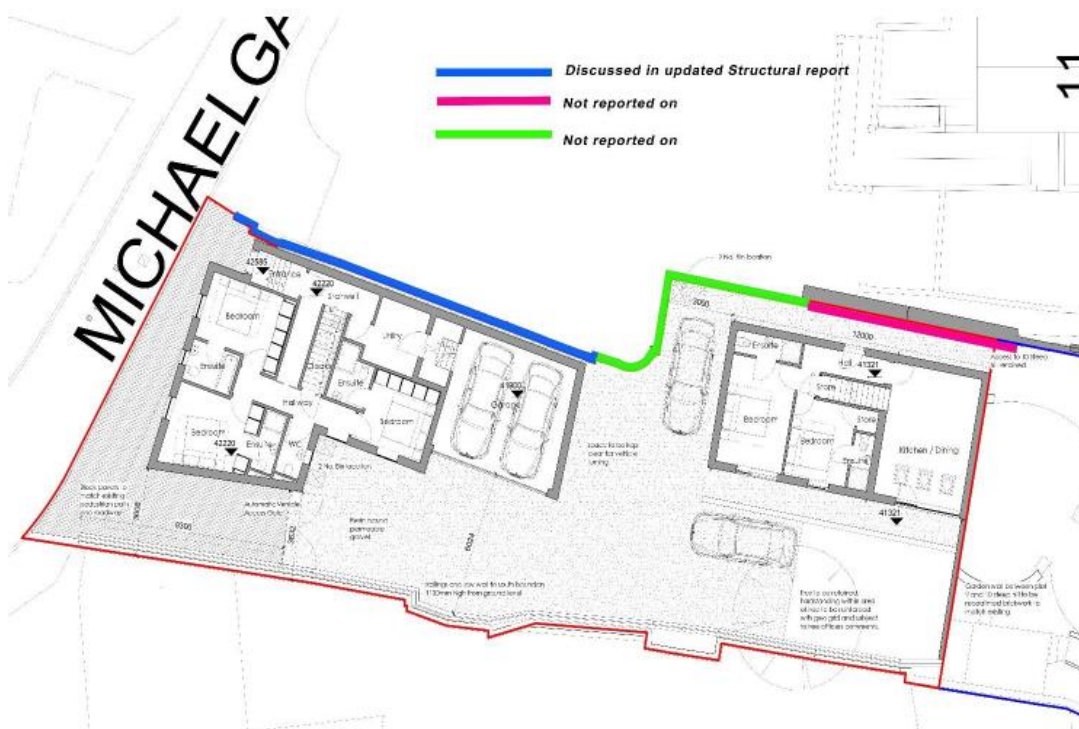
During the recent wall reconstruction work (2019) we took incidental photography that clearly shows the supportive nature of the garage buttressing at this wall section – images appended
This Planning Application has clearly not sought to design out impacts upon the significance of buried remains within the scheduled area.

David Butler

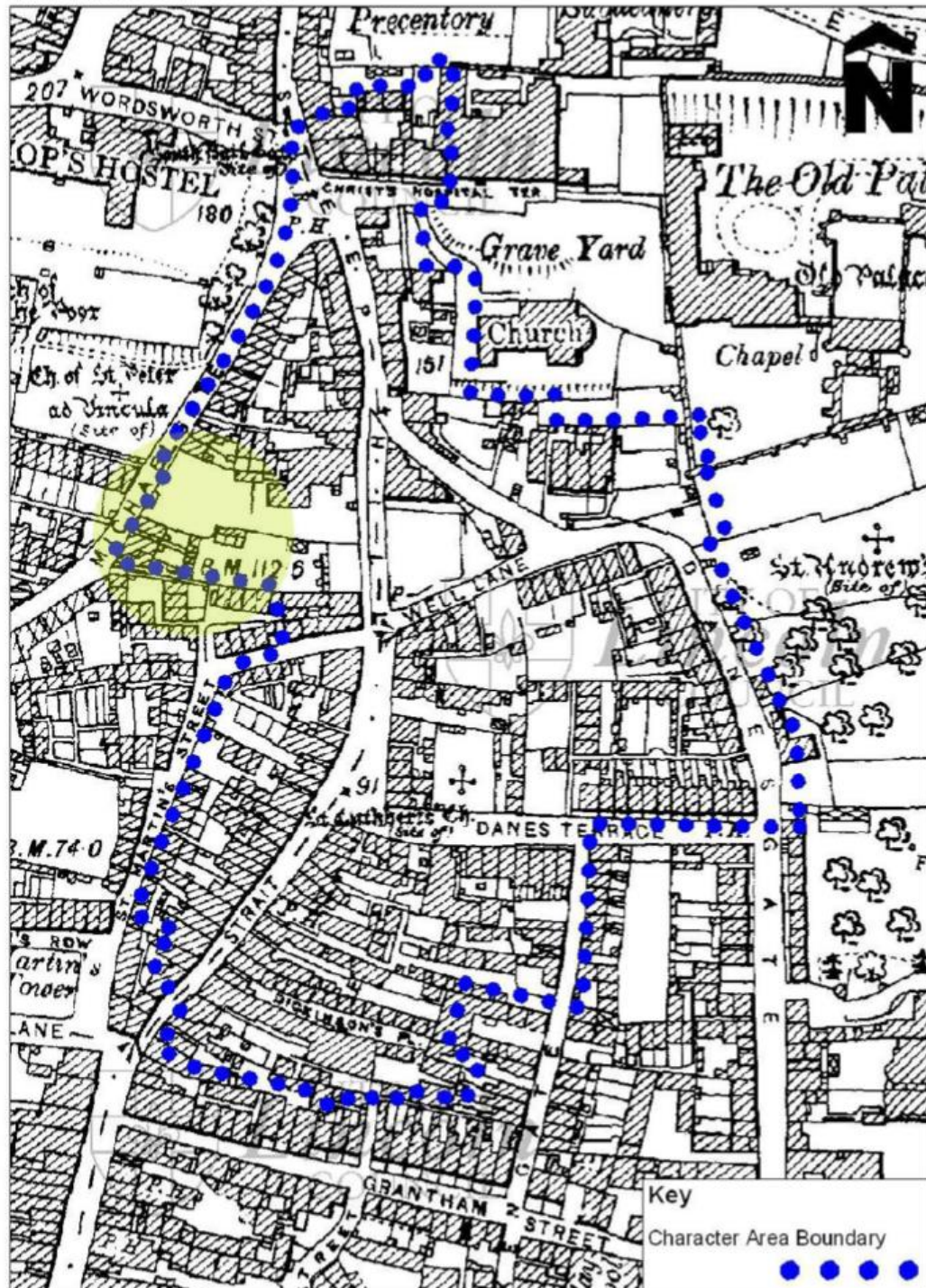
Addendum

illustrations and photography (10)

- *Location map with Northern Wall sections legend – SAM outlined in red*
- *Proposed development – northern wall structural reporting*
- *original_SHATS_OS_1907_Map*
- *original_SHATS_OS_1966_1967_Map*
- *existing stone wall cross section photograph – 2017 collapse*
- *wall failure at garage intersection*
- *NE corner collapsed wall (2017) - supportive buttressing of outbuildings*
- *NE corner collapsed wall (2017) - wall abutment outbuildings > retaining wall*
- *archaeologist at exposed wall at circa 400mm below ground level*
- *aerial view of NE corner buttressing – also showing exposed wall below ground level*



First Edition OS 1:2500 - 1907

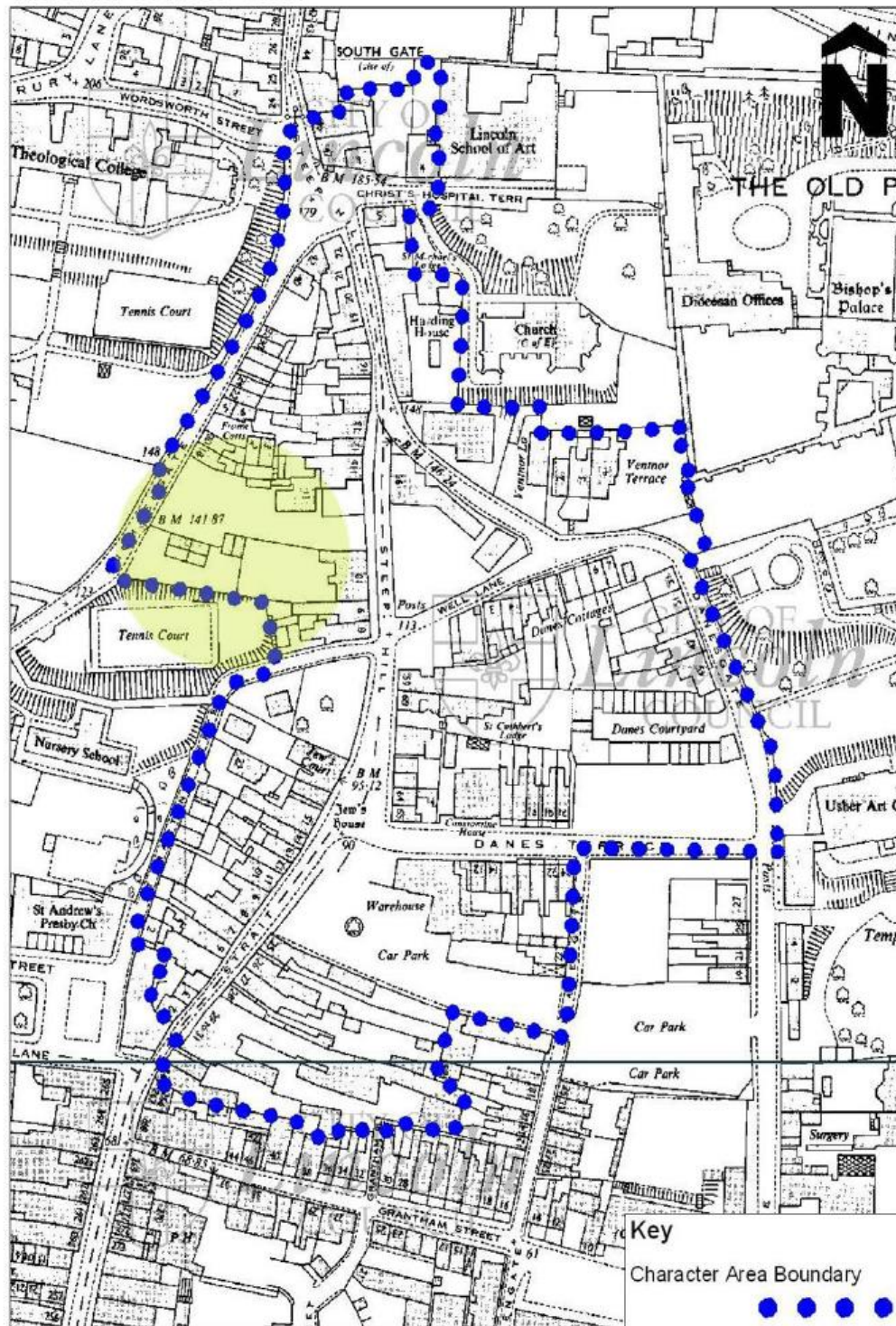


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Shown at approximately 1:1300 at A4



First Edition OS 1:1250 - 1966/7



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Northern retaining Stone wall cross section

showing

- to the right original wall cross-section, variable approx. 600-750mm width
- to the left, medieval wall uncovered during excavations to repair collapsed retaining wall



Wall failure at intersection with outbuildings





Clearly showing outbuildings are wall to wall abutting and therefore supportive to SAM retaining Northern wall.



Alternative view of buttressing support structure of outbuildings – wall to wall abutment



Viewing stone wall structure behind outbuildings and reliant upon the support



Showing 'cleaned' exposed wall top at depths approx. 400mm



North-East aerial view of buttressing effect of outbuilding, also showing exposed wall top at circa 400mm, depth of wall estimated at 600-700mm at this point

Lincoln Civic Trust

Comment Date: Mon 01 Mar 2021

OBJECTION

We are in agreement that the site is in need of development and could add greatly to the street scene of Michaelgate which has been neglected in the recent past.

However, we feel that this application is unacceptable because:

' We feel it is an overdevelopment of the site in that there is room for one property only to be created and not two. There is no provision for any 'green' space for either of the two proposed properties and we feel that building right to the pavement edge with virtually a blank wall on the road side is unacceptable.

' The design is not suitable for the environment in which it sits. The precedent for a modern building set by the property next door should not be allowed to influence firstly further proposals for development on Michaelgate in the same vain and certainly should not be used to allow featureless buildings which are of a purely block design.

' This is an area of significant important and sited on the edge of a Scheduled Monument site and should be far more sympathetic to its surrounds.

We strongly oppose this application.

Anglian Water

Comment Date: Fri 05 Feb 2021

The Planning & Capacity Team provide comments on planning applications for major proposals of 10 dwellings or more, or if an industrial or commercial development, 500sqm or greater. However, if there are specific drainage issues you would like us to respond to, please contact us outlining the details.

The applicant should check for any Anglian Water assets which cross or are within close proximity to the site. Any encroachment zones should be reflected in site layout. They can do this by accessing our infrastructure maps on Digdat. Please see our website for further information:

<https://www.anglianwater.co.uk/developers/development-services/locating-our-assets/>

Please note that if diverting or crossing over any of our assets permission will be required. Please see our website for further information:

<https://www.anglianwater.co.uk/developers/drainage-services/building-over-or-near-our-assets/>

Highways & Planning

Comment Date: Wed 20 Jan 2021

No objections.

Lincolnshire Police

Comment Date: Wed 06 Jan 2021

No objections

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Application Number:	2021/0235/FUL
Site Address:	5 Silver Street, Lincoln, Lincolnshire
Target Date:	13th August 2021
Agent Name:	None
Applicant Name:	Mr Javaid Qureshi
Proposal:	Change of use from Betting Shop (Sui Generis) to Hot Food Takeaway (Sui Generis).

Background - Site Location and Description

Planning permission is sought to change the use of the ground floor of the property from a betting shop to a hot food takeaway.

The property is located on the south side of Silver Street, a three-storey building with a shop front at the ground floor. Further shop units are located to both sides in Lincolns Primary Shopping Area.

The site is located within the Conservation Area No.1 - Cathedral and City Centre.

Site History

No relevant site history.

Case Officer Site Visit

Undertaken on various dates.

Policies Referred to

- National Planning Policy Framework
- Policy LP33 Primary shopping Area and Central Mixed-Use Area
- Policy LP25 The Historic Environment

Issues

- Principle of Development
- Visual Amenity
- Impact on Neighbours
- Technical Considerations

Consultations

Consultations were carried out in accordance with the Statement of Community Involvement, adopted January 2018.

Statutory Consultation Responses

Consultee	Comment
Highways & Planning	Comments Received

Lincolnshire Police	Comments Received
Lincoln Civic Trust	Comments Received
Monks Road Neighbourhood Initiative	No Response Received

Public Consultation Responses

Name	Address
Mr Thomas Barden	44 Gresham Street Lincoln Lincolnshire LN1 1PZ
Mr Alex Chapman	Apartment 3 6 Alfred Street Lincoln LN5 7RJ
Mr Lukas Kuranda	58 Hibaldstow Road Lincoln Lincolnshire LN6 3PX
Mr Alex Chapman	Apartment 3 6 Alfred Street Lincoln Lincolnshire LN5 7RJ
Mr Neville King	60 Cambrai Close Lincoln Lincolnshire LN1 3UL
Ms Ashton Hinton	8 John O Gaunt House Gaunt Street Lincoln Lincolnshire LN5 7PN
Mr Dominic O'Malley	5 Silver Street Lincoln Lincolnshire LN2 1HH
Alex Ford	Boole Technology Centre Lincoln LN6 7DJ
Mr Gareth Long	Broad Oak Road Erith DA8 3BE
Ms Eleanor Goodman	44 Gresham Street Lincoln Lincolnshire LN1 1PZ
Mr Konrad Stepień	37 Monks Road Lincoln Lincolnshire LN2 5HN
Mr Matthew Cummins	23 Cromwell Street Lincoln Lincolnshire LN2 5LP

Consideration

Principle of the Use

Policy LP33 of the Central Lincolnshire Local Plan sets out the uses which will be supported in principle in the Central Mixed-Use Area. The policy sets out that Food and Drink Outlets, including A5 (Hot food Takeaway) as an appropriate use.

The use classes order was amended in September 2020 and Hot Food Takeaways are now classed as a sui generis use. However, the policies of the Local Plan are still relevant, and it is considered that for the purposes of determining the application the policy can still be used to ascertain the appropriateness of a takeaway use in this location.

The change in use should not detract from the vitality and viability of the Primary Shopping Area. It should not result in the area in which it is located losing its mixed-use character and it should not harm the local environment or the amenities which occupiers of nearby properties may reasonably expect to enjoy.

Visual Impacts

5 Silver Street is located within the Cathedral and City Conservation Area. As such, Policy LP25 of the Local Plan is relevant. It states, "Development within, affecting the setting of, or affecting views into or out of, a Conservation Area should preserve (and enhance or reinforce it, as appropriate) features that contribute positively to the area's character, appearance and setting".

The proposal would not result in any physical changes to the existing front elevation, and any such changes would require planning permission, as would any future changes to the adverts on the unit.

Impacts on Neighbours

A number of objections have been received from owners and occupiers of nearby premises. The reasons for objections principally relate to the impacts from fume extraction and waste storage. The information originally submitted with the application was inadequate, as such additional information was requested by the City's Environmental Health Officer.

A summary of the proposals for the extract system are now as follows:

- Baffle filter in extract hood (to remove grease)
- Bag filter (to remove fine particulates)
- Carbon filter (to remove odours)
- Fan inlet silencer
- Fan
- Fan outlet silencer
- High velocity cowl located above the eaves of the building

Provided that all these are installed in accordance with the details provided and are sized accordingly, the Environmental Health Officer has no objections to the proposals, given the nature of the surrounding area.

With regards to the waste storage issues on site, the application suggests there is sufficient storage space outside. As such, it would be necessary to require a condition be attached to the consent, if granted, requiring that details of the waste storage proposals are submitted prior to the use commencing.

These details would ensure the application is in accordance with LP33_as the proposal would not harm the local environment or the amenities which occupiers of nearby properties may reasonably expect to enjoy.

Highways

The Highways Authority has raised no objections.

Conclusion

The proposed use is considered to be an acceptable use in this location as set out in the Local Plan. This is subject to certain criteria being met to ensure that the proposal would have no adverse impact on the amenity currently enjoyed by existing neighbours. The applicants have submitted satisfactory information to evidence that such impacts have been considered and addressed.

Application Determined within Target Date

Yes, with an extension of time.

Recommendation

That the application is granted conditionally

Conditions

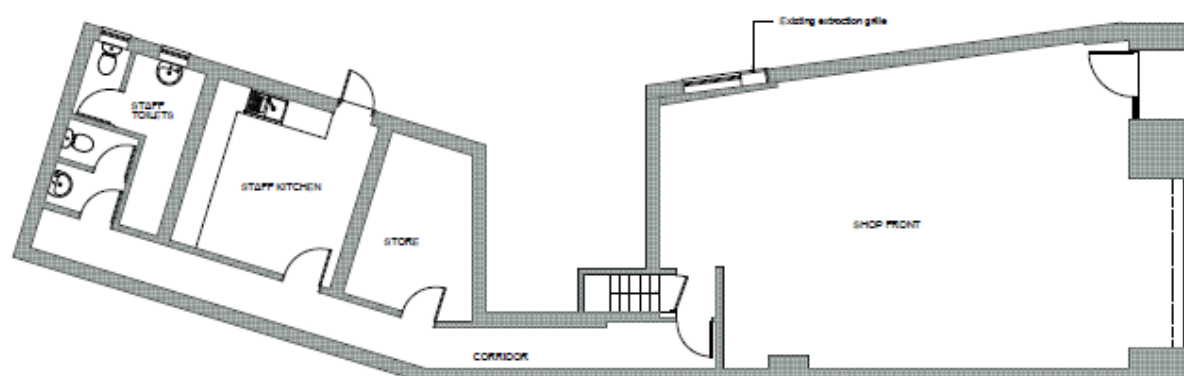
- Development carried out within 3 years
- Development carried out in accordance with the submitted plans
- Details for the storage and management of waste.
- Extract system installed in accordance with details and not to be changed without the written consent of the LPA

Plans

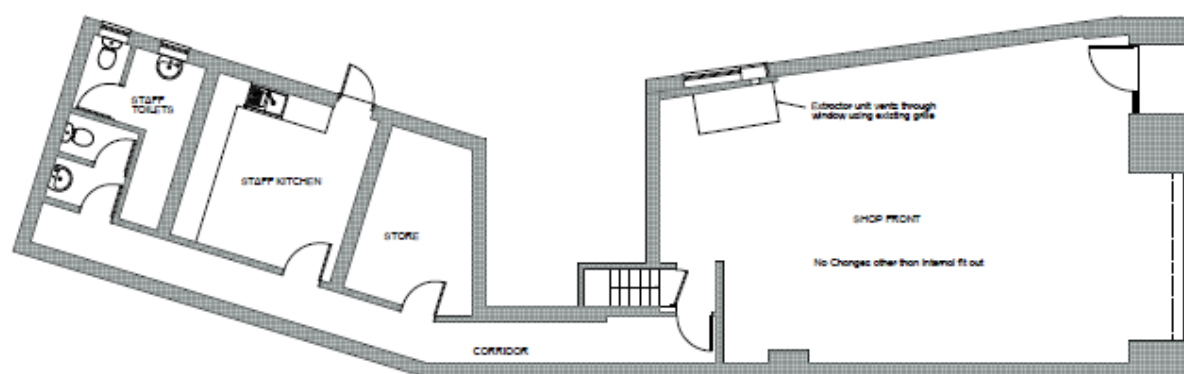
Site Location Plan



Existing and Proposed Layout



EXISTING LAYOUT



PROPOSED LAYOUT

Site Photos





Consultee Comments



LINCOLNSHIRE POLICE

POLICE HEADQUARTERS
PO Box 999
LINCOLN LN5 7PH
Fax: (01522) 558128
DDI: (01522) 558292
email
john.manuel@lincs.pnn.police.uk

Your Ref: App 2021/0275/FUL

30th March 2021

Development & Environmental Services
City Hall, Beaumont Fee
Lincoln, LN1 1DF

Town and Country Planning Act 1990
Consultation on Planning Permission

The Moorland Centre, 3 Moorland Way, Lincoln, Lincolnshire, LN6 7TN

Demolition of existing building and redevelopment to provide a food store (Use Class E), two retail units (Use Class E) and a drive-thru restaurant (Use Class E), car parking and associated external works including landscaping (Resubmission)

Thank you for your correspondence and opportunity to comment on the proposed development.

Lincolnshire Police has No objections to this application.

Please do not hesitate to contact me should you need further information or clarification.

Please refer to *Homes 2019* which can be located on www.securedbydesign.com

Crime prevention advice is given free without the intention of creating a contract. Neither the Home Office nor the Police Service takes any legal responsibility for the advice given. However, if the advice is implemented it will reduce the opportunity for crimes to be committed.

Yours sincerely,

John Manuel MA BA (Hons) PGCE PGCPD Dip Bus.
Force Designing Out Crime Officer (DOCO)

Warren Peppard
Head of Development Management
Lincolnshire County Council
County Offices
Newland
Lincoln LN1 1YL
Tel: 01522 782070
HighwaysSUDsSupport@lincolnshire.gov.uk

To: Lincoln City Council

Application Ref: 2021/0235/FUL

Proposal: Change of use from Betting Shop (Sui Generis) to Hot Food Takeaway (Sui Generis).

Location: 5 Silver Street, Lincoln, Lincolnshire, LN2 1HH

With reference to the above application received 1 April 2021

Notice is hereby given that the County Council as Local Highway and Lead Local Flood Authority:

Does not wish to restrict the grant of permission.

CONDITIONS (INCLUDING REASONS) /REASONS FOR REFUSAL

NO OBS

Having given due regard to the appropriate local and national planning policy guidance (in particular the National Planning Policy Framework), Lincolnshire County Council (as Highway Authority and Lead Local Flood Authority) has concluded that the proposed development is acceptable and accordingly, does not wish to object to this planning application.

Case Officer:
John Clifton
for Warren Peppard
Head of Development Management

Date: 15/04/2021

Consultee Comments for Planning Application 2021/0235/FUL

Application Summary

Application Number: 2021/0235/FUL

Address: 5 Silver Street Lincoln Lincolnshire LN2 1HH

Proposal: Change of use from Betting Shop (Sui Generis) to Hot Food Takeaway (Sui Generis).

Case Officer: null

Consultee Details

Name: Ms Catherine Waby

Address: St Mary's Guildhall, 385 High Street, Lincoln LN5 7SF

Email: Not Available

On Behalf Of: Lincoln Civic Trust

Comments

OBJECTION

We object as a matter of principle to the proposal for a takeaway on Silver Street which is not conducive for this use. There is no parking facility and the litter that would be generated would be unacceptable. Furthermore, this particular application is totally unacceptable as the plans produced are poor to say the least and do not show any proper conversion of the premises. There are no details as to the positioning of the extractors and air conditioning units, very few details as to waste and rubbish storage and collection and no details as to the sanitary provisions. We strongly recommend this application be refused.

Neighbour Comments

Comments for Planning Application 2021/0235/FUL

Application Summary

Application Number: 2021/0235/FUL

Address: 5 Silver Street Lincoln Lincolnshire LN2 1HH

Proposal: Change of use from Betting Shop (Sui Generis) to Hot Food Takeaway (Sui Generis).

Case Officer: Lana Meddings

Customer Details

Name: Not Available

Address: 23 Cromwell Street Lincoln

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I object to this proposal for a takeaway on Silver Street, the proposed position for the extraction unit is absolutely not suitable, and would extract frying smells into a shared alleyway, which will affect commercial and residential properties. The planning in this area seems minimal and the details of this purposefully omitted. There also is clearly no adequate space for the amount of waste outside that a business of that size would generate, and the general smell from the property would be unworkable and antisocial to the neighbours here, with the shared corridor leading onto a hallway with an open elevator the smell would travel easily, before even taking into account possible leakage through other parts of the building, to add to this, the noise that would be generated from the property does not equate to a suitable neighbour against commercial office spaces and residential areas. Also if the business plans to load goods through the shared corridor this will be incredibly disruptive, and block access to others who must access the building, in my mind this is totally unacceptable and irresponsible. Additionally we are a young technology company who have just moved into the building and invested a lot of money and resources into setup. I strongly recommend this application be refused.

Comments for Planning Application 2021/0235/FUL

Application Summary

Application Number: 2021/0235/FUL

Address: 5 Silver Street Lincoln Lincolnshire LN2 1HH

Proposal: Change of use from Betting Shop (Sui Generis) to Hot Food Takeaway (Sui Generis).

Case Officer: Lana Meddings

Customer Details

Name: Not Available

Address: 37 Monks Road Lincoln

Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I strongly object to the proposal for a takeaway. Due to the location there is no adequate space for the waste outside and there is no parking facilities suitable for such endeavour. Due to the nature of takeaways there is a risk of both noise and bad smell that would cause the neighbouring businesses to suffer from this as well.

Comments for Planning Application 2021/0235/FUL

Application Summary

Application Number: 2021/0235/FUL

Address: 5 Silver Street Lincoln Lincolnshire LN2 1HH

Proposal: Change of use from Betting Shop (Sui Generis) to Hot Food Takeaway (Sui Generis).

Case Officer: Lana Meddings

Customer Details

Name: Not Available

Address: 44 Gresham Street Lincoln

Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I object to the proposal on several bases. As noted by the Civic Trust and Environmental Officer, the planning for the extraction unit is at best minimal and unsuitable. The designs proposed would either obstruct the first floor windows, or leak smells into the communal alleyway which is shared by various commercial and residential properties. The age and conversion of the property also makes it highly likely that the smells from the takeaway would leak into the units above the shop. Tended, a young technology start up, has just invested significant time and money into moving into these offices, which are now at risk of being untenable for a workplace. Silver Street, or Lincoln for that matter, does not need yet another hot food takeaway.

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Customer Details

Name: Not Available

Address: 44 Gresham Street Lincoln

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment:Hi! I'd like to raise an objection to this proposed planning project on Silver Street. I'm the office manager for a tech startup who have just spent a lot of time renovating the 1st floor in the same building as we move our offices to the city centre.

My concerns:

1. The ventilation will have to come out into our shared entranceway. This will affect both us, our visiting clients, the art gallery above us, as well as the other businesses and residential properties that back onto the alley. The noise and smell may render our new office and the art gallery above us unusable.

2. There also literally isn't any space for the wastage needed - we can only just fit our bins for ourselves and the local artists who work on the second floor into the provided space for the entire property. If additional commercial bins are added, they would block the fire route for the first and second floor of the property as there simply isn't room.

As I am in charge of fire and health and safety for our company offices, I'm very concerned about the H&S risk of the new tenant not keeping the route clear. There is also additional concern about overflow/rubbish lying around as there isn't room for an adequate commercial bin that could leave poor impression on visiting clients and guests at the gallery above us, as well as blocking safe fire routes.

Thanks for reading my comments, and have a good day :)

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Customer Details

Name: Not Available

Address: 5 Silver Street Lincoln Lincoln

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment:I strongly object to the planning application for the following reasons:

Considerable expense and effort has gone into creating a new headquarter location for one of Lincoln's foremost tech companies.

Whilst the position is above a retail store front, there appears to be:

- Inadequate ventilation for pungent, strong smelling foods to be cooked below,

- Our office location simply becomes a place we would not invite visitors to our city of Lincoln HQ due to the presence of such an outlet below,
- There are likely health effects from the inhalation of unpleasant fumes and odours,
- Windows could not be opened to ventilate office accommodation which has become an important facet of maintain Covid-security as a workplace,
- The proposed position for the extraction unit is neither suitable or viable and would either obstruct the fresh air ventilation to the first floor OR extract frying odours into a shared alleyway.

This will flow into various commercial and residential properties. The plans do not adequately address this point.

- There isn't adequate space for the waste outside, much of which will be food waste, heightening the risk of infestations and rodents,
- Venues such as this tend to be noisy and in order to satisfactorily extract to environmental standards, these too would create a noise nuisance for occupants on the first and second floor.
- There is an independent art gallery open to the public and this could significantly impact their work and livelihoods if the venue suffers from littering, street waste and overpowering aromas,
- There are already a number of fast-food outlets in the vicinity of this location. If the council seeks a balanced, day and night economy, it needs to take account of all occupants and, in particular, organisations who can improve the attractiveness of living and working in Lincoln. This application has the opposite effect.

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Case Officer: Lana Meddings

Customer Details

Name: Not Available

Address: 58 Hibaldstow road Lincoln

Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Planning permission for the hot food takeaway should not be given as this would make the office upstairs pretty much unusable. This is an old building, and there is a high chance that the smell of cooking food would leak through the floor.

I am currently working in a young technology company upstairs, and we have just moved in, so it would be pretty devastating to be forced out, because of the constant smell.

Furthermore, we do have plenty of takeaways on the high street anyway, it would be much better to support other type of businesses.

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Case Officer: Lana Meddings

Customer Details

Name: Not Available

Address: 60 Cambrai Close Lincoln

Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I object to the proposed change of use for 5 Silver Street to become a food takeaway. The proposal for the extraction unit is not suitable and would allow food cooking smells into a shared alleyway and into adjoining commercial and residential properties. There is also not enough space in this alleyway for waste that would be generated, and there is a concern the amount of noise from the extractor fan. Furthermore, a young technology company has recently moved into the unit above the proposed takeaway and have invested a significant amount of money and resources into getting set up. I recommend this application be refused.

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Case Officer: Lana Meddings

Customer Details

Name: Not Available

Address: 8 John O'Gaunt House, Gaunt Street Lincoln

Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I would like to raise multiple concerns about the production of this hot food takeaway on Silver street. Based on the documents provided and the comments made by the environmental officer, there is not a substantial amount of space nor a suitable place to extract the smell as it is surrounded by offices and residential neighbors. There is also only one small entry alleyway, and if this was to be congested from food deliveries or be polluted by waste and food smells this would be damaging to the image of our office as well as the art gallery/studio above.

I personally live above a hot food takeaway shop, and the smell from the waste alone is enough to be very off-putting. From experience living above one, I can personally attest that this would be detrimental to a healthy and happy working environment. As

we've just relocated our office to Silver street, it feels like such a waste of time and money renovating our new office for it to no longer be suitable for comfortable work due to sound and smells.

I object to the location of the proposed hot food takeaway site, as it is inconsiderate to the direct surroundings of offices, residents, and galleries.

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Case Officer: Lana Meddings

Customer Details

Name: Alex Ford

Address: Boole Technology Centre Lincoln

Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: No proper waste disposal, there's an independent art gallery nearby, and could be impacted by the position of the extraction unit

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Case Officer: Lana Meddings

Customer Details

Name: Not Available

Address: Apartment 3 6 Alfred Street Lincoln

Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Hi, I work for a tech startup that has recently moved into the 1st floor of the same building after a lengthy and expensive renovation of said floor. I strongly object to this proposal for the following reasons:

1. As indicated by the Civic Trust and Environmental Officer, the planning for the extraction unit is at best minimal and unsuitable. The resulting noise and smell could render our new office and the art gallery above unusable.
2. There is a severe lack of space in the alleyway, we can only just fit our bins for ourselves and the artists. I am extremely concerned that addition of more commercial

bins would obstruct the alleyway and our fire escapes. Not to mention the high potential rats/ other pests that commonly come with the proposed type of shop.

3. The designs proposed would obstruct the windows on the first floor, preventing the ventilation of our office which is extremely important in order to maintain a covid safe environment to work in.

4. There are already more than enough fast-food outlets in the vicinity of the building, I fail to see the benefit of adding another one.

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Customer Details

Name: Not Available

Address: Broadoak Road Erith

Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I work very near this address and there aren't sufficient plans for proper extraction of food smells and additionally first floor windows would be obstructed.

Noise pollution is also an issue for the space outside and the extractor fans.

No sufficient waste storage facilities available.

The cooking smell would adhere itself to clothing and all premises nearby, forcing some to have to move.

There are already many takeaways on this road.

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